

Meeting of:	Cabinet
Date of Meeting:	Thursday, 28 November 2024
Relevant Scrutiny Committee:	Homes and Safe Communities
Report Title:	Housing PAS2035 Retrofit Scheme 2024/25
Purpose of Report:	To advise Cabinet of a request to accept the most advantageous tender and execute the contract for the Housing PAS2035 Retrofit Scheme 2024/25
Report Owner:	Cabinet Member for Public Sector Housing and Tenant Engagement
Responsible Officer:	Miles Punter – Director of Environment and Housing Services
Elected Member and Officer Consultation:	<p>Elected Members consulted – No individual ward Member consultation as the report outcomes affects various wards</p> <p>Committee Reports</p> <p>Rachel Williams - Housing Accountant</p> <p>Mike Ingram - Head of Housing and Building Services</p> <p>Andrew Treweek - Operational Manager</p>
Policy Framework:	This is a matter for Executive decision by Cabinet
Executive Summary:	<ul style="list-style-type: none"> • Working with Micheal Dysons Associates Ltd. the Council’s Housing Development and Investment Team has developed a pilot retrofit scheme, ‘Housing PAS2035 Retrofit Scheme 2024/25’, taking a whole house approach to decarbonising twenty-six (26) properties (including blocks of flats) within the Council’s housing stock • This report advises Cabinet of the tender process for the delivery of this work, with a decision on the acceptance of a tender for this work requested via a Part II report later on this agenda.

Recommendations

1. That Cabinet notes the contents of the report, with a view to taking a decision on the award of the contract detailed within the Part II report later on this agenda.
2. That use of the Council's urgent decision procedure, as set out at section 15.14 of the Council's constitution be agreed to enable the contract arrangements to be expedited.

Reasons for Recommendations

1. To advise Cabinet of the Housing PAS2035 Retrofit Scheme 2024/25 and of the tender process for this work.
2. To ensure that a contract for the work can be executed in time for works to commence in January 2025, to permit Welsh Government grant timescales to be achieved.

1. Background

- 1.1 During the last few years, the Housing Development and Investment Team has been developing the knowledge and skills associated with the development and delivery of retrofit projects/schemes on a large scale in order to decarbonise the Council's housing stock by 31st March 2034, as required by the latest version of the Welsh Housing Quality Standard (WHQS) 2023.
- 1.2 To date the focus has been on completing a fabric first approach to ensure the Council's housing stock is energy efficient and ready for the installation of renewable technologies for heating and hot water.
- 1.3 Working with Micheal Dysons Associates Ltd. the team has developed a pilot retrofit scheme taking a whole house approach to decarbonising twenty-six (26) properties (including blocks of flats) within the Council's housing stock.
- 1.4 All retrofit projects/schemes must adhere to the requirements of PAS2035. This involves using individuals qualified as Retrofit Assessors, Retrofit Designers and Retrofit Co-ordinators. This expertise has been provided by Micheal Dysons Associates Ltd. to ensure the pilot scheme has been developed in line with the PAS2035 requirements. The scheme will be used as a learning exercise to better understand timescales whilst following PAS2035 stages, as well as the impact of installing and tenants using the latest renewable technologies.
- 1.5 Welsh Government has made grant funding available to support Social Landlords in developing programmes of work which support the journey towards carbon reduction in the housing stock. In the first stages this funding is aimed at improving understanding of low carbon technologies and to introduce such

technologies to the Council's tenants to support active engagement and discussion.

- 1.6 The Vale of Glamorgan Council was successful in securing approx. £871,000 of grant funding in support of this project and these works will ensure the grant funding may be claimed in accordance with the requirements of Welsh Government.
- 1.7 This report provides information about the Housing PAS2035 Retrofit Scheme 2024/25, with a report requesting the acceptance of a tender for this work to be considered at Part II later on this agenda.

2. Key Issues for Consideration

- 2.1 The Housing Development and Investment Team in conjunction with the Council's consultants, 'Michael Dysons Associates Ltd.' have identified a range of works, packaged for one main contractor to deliver under the Housing PAS2035 Retrofit Scheme 2024/25.
- 2.2 The project includes the following properties, Dudley Place, Barry (4#), Peterswell Road, Barry (16#), O'Donnell Road, Barry (4#) and Cornwall Road, Barry (2#).
- 2.3 The scheme has identified the following retrofit works to be completed to fully decarbonise the twenty-six (26) properties. There will be external works including the installation of new/extended roofs, integrated Solar PV panels, external wall insulation, new windows and doors, new pathways and associated works. Internally there will be renewable technologies such as Air Source Heat Pumps (ASHPs), Ground Source Heat Pumps (GSHPs), Heat Recovery Systems (HWWRs) in showers and baths, energy monitoring equipment and associated works. Appendix 1 refers.
- 2.4 There are no leaseholders associated with the works and therefore the Section 20 Leasehold tender process is not required.
- 2.5 The Housing Development & Investment Team along with Michael Dysons Associates Ltd. tendered the work through Sell2Wales. The 'Invitation to Tender' (ITT) sought a single principal contractor to deliver the JCT Intermediate contract. The successful contractor would be appointed following a two-stage assessment, with stage one being a Pre-Qualification Questionnaire (PQQ) and the second stage being awarded on 'Value for Money' (Price and Quality, including Social Value).

- 2.6** An invitation to tender was published on Sell2Wales on 5th April 2024 with a closing date of 13th May 2024. There were thirty-seven (37) expressions of interest with four (4) tender bids received.

When checking all the key tender return documents that had been submitted, the one bidder had submitted the same tender bid twice leaving 3 submitted tender bids passing.

- 2.7** The three contractors' submissions passed the prequalification questionnaire process scoring above 87. The three contractor's bids were then assessed on stage two of the process, where scores were based on 50% for price and 50% for quality (including 10% Social Value).
- 2.8** Details of the Housing PAS2035 Retrofit Scheme 2024/25 tender outcomes is set out in the Part II report later on this agenda.

3. How do proposals evidence the Five Ways of Working and contribute to our Well-being Objectives?

- 3.1 Looking to the long term** - As a result of the Housing PAS2035 Retrofit Scheme 2024/25, compliance with the Welsh Housing Quality Standard 2023 will be achieved, along with ensuring the block and properties receiving the retrofit installations are more energy efficient, therefore reducing the carbon footprint and reducing energy costs for the Council's tenants/contract holders for future years.
- 3.2 Taking an integrated approach** – The development and procurement of the Housing PAS2035 Retrofit Scheme 2024/25 was undertaken via consultation with the Tenants Quality Design Forum (QDF) and tenants/Contract holders linked to the works.
- 3.3 Involving the population in decisions** – The Tenants Quality Design Forum (QDF) members and tenants/Contract Holders involved have been kept abreast of the developments of the contract along with decision making for elements of these improvement works e.g. Tenant received a choice in relation to the finished appearance of the block or individual properties.
- 3.4 Working in a collaborative way** – The Housing Development and Investment Team has worked closely with Michael Dysons Associates Ltd. experts in the field of work, in order to develop the scheme.
- 3.5 Understanding the root causes of issues and preventing them** - As a result of contracting a competent principal contractor and sub-contractors to undertake the delivery of the Housing PAS2035 Retrofit Scheme 2024/25, we will ensure the Council's residents reside in safe, accessible, energy efficient, and compliant homes.

3.6 This proposal will meet:

Objective 1: TO WORK WITH AND FOR OUR COMMUNITIES

Corporate Plan Commitment: 2. Work innovatively, using technology, resources and the Council's assets to transform services so they are sustainable for the future.

4. Climate Change and Nature Implications

- 4.1** This scheme will have a positive impact by improving the energy efficiency of the twenty-six (26) pilot properties identified for retrofit measures, therefore assisting in reducing carbon emissions.
- 4.2** The scheme is estimated to improve the twenty-six (26) properties from an average EPC rating of D to an average EPC rating of A, with an estimated carbon reduction figure of 81,229 CO²kg/yr.
- 4.3** Any reduction in the emissions from fossil fuels could have a positive impact on the environment.

5. Resources and Legal Considerations

Financial

- 5.1** Full financial details will be addressed in the Part II Report included on the agenda.

Employment

- 5.2** There are no other resource issues to report.

Legal (Including Equalities)

- 5.3** The contract will ensure the council complies with its legal obligations under Section 3(1) Health and Safety at Work Act etc. PAS2035 for Retrofit Schemes and Building Regulations.
- 5.4** In terms of equalities, there will be training opportunities offered as part of the Housing PAS2035 Retrofit Scheme 2024/25.

6. Background Papers

None.



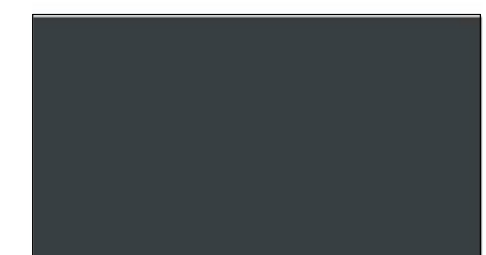
Rear Elevation
1:100



Front Elevation
1:100



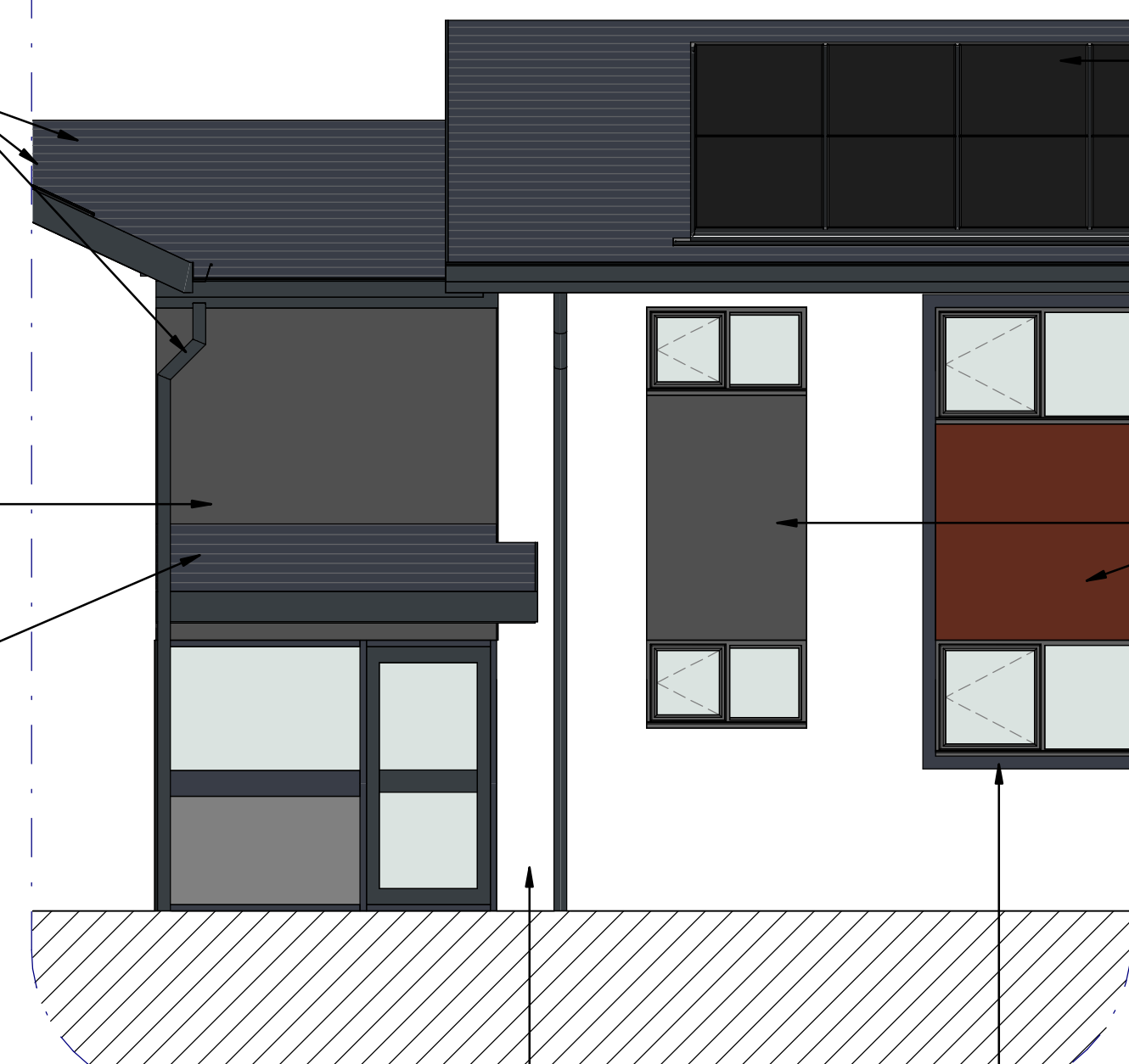
Roofing to be replaced with Riven Edgemere Concrete Interlocking Tile, in Anthracite MA35138, alongside the replacement of fascias, gutters and soffits in coordinating RAL7016 'Anthracite Grey' finish.



New Soltherm External Wall Insulation to specification, with RAL7016 'Anthracite Grey' render finish above all communal entrances.

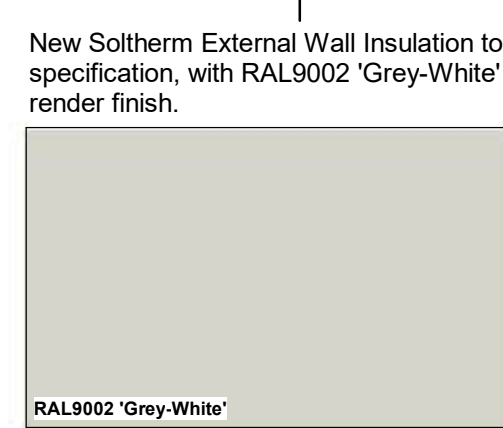
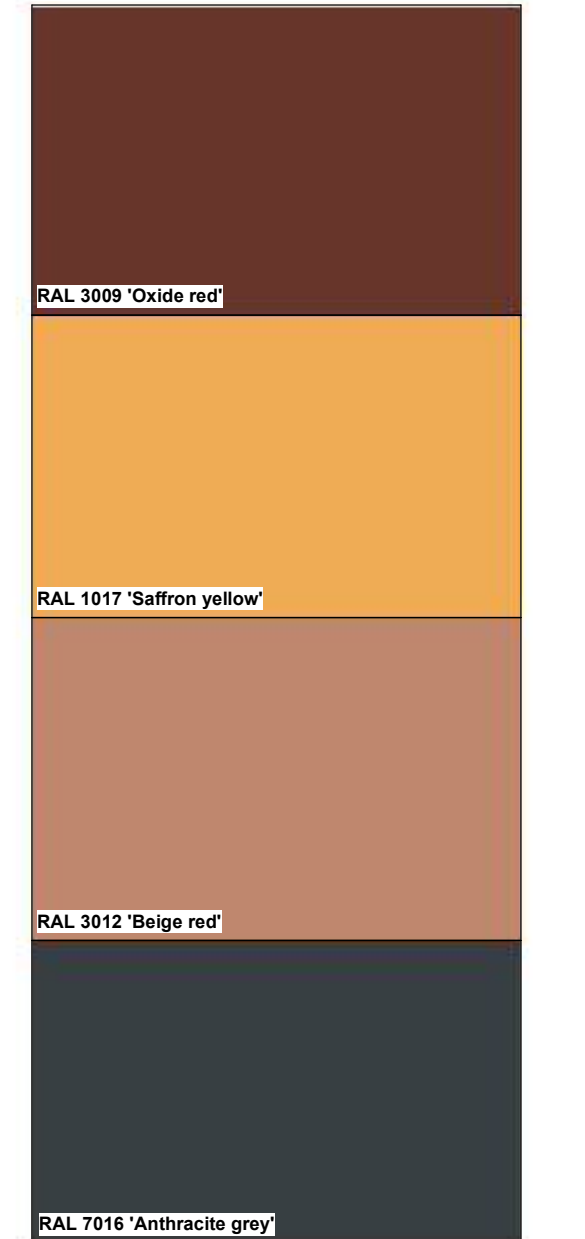


New mono-pitch canopy to front communal entrances, Lenwick Over-door Canopy (Canopy Shop) or similar, to be installed as per manufacturer's specifications.



Intrix Photovoltaic panels to reduce electricity costs, Marley SolarTile M10, to be installed as per manufacturer's specifications.

New Soltherm External Wall Insulation to specification for window infill, with alternating colour render finish from proposed colour palette.



New Soltherm External Wall Insulation to specification, with RAL9002 'Grey-White' render finish.



Aluminium window pods, matt finished in RAL7016 'Anthracite Grey', Windypods or similar, to be installed as per manufacturer's specifications. See detail SD511.



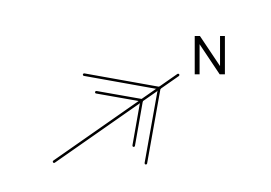
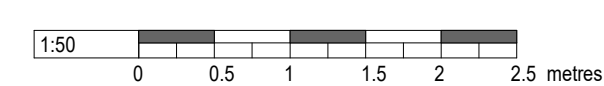
Perspective View - For Presentation Purposes Only

SCOPE OF WORKS:

- EWI SPECIFICATION**
SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.
- STRUCTURAL WORKS**
CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED.
STRUCTURAL REMEDIAL WORK WHERE NECESSARY.
IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.
- SPECIFICATION OF NEW WINDOWS**
REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS. ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER.
NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER.
SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm.
WINDOW BOARD SPECIFICATION TO BE CONFIRMED.
GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS.
FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS.
WINDOWS TO BE PAS 24 COMPLIANT.
WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONRY. WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL. EXTENDED TO BACK OF WINDOW.
NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.
- SPECIFICATION OF NEW DOORS**
DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
LEVEL ACCESS TO BE MAINTAINED, IF EXISTING.
DOORS TO BE PAS 24 COMPLIANT.
- FIRE PROTECTION MEASURES**
INJECTAFLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.
- ROOF SPECIFICATION**
ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
ROOF TO BE RETILED WITH MARLEY RIVEN EDMERERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC (PV) PANELS.
FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION.
ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.
NOTE: WHITE ASBESTOS PIPE USED FOR VENTILATION LOCATED IN LOFT SPACE OF FLATS 28 & 26 PETERSWELL ROAD, THIS HAS NOT BEEN NOTED IN THE HISTORIC ASBESTOS REPORT PROVIDED TO MDA, THEREFORE WITHOUT A PHYSICAL SURVEY OF ALL FLATS IT MUST BE ASSUMED THE SAME IS PRESENT THROUGHOUT THE BLOCK.
- HEATING SYSTEM**
EXISTING BOILER AND FLUE TO BE REMOVED. SEE DETAIL SD26.
NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200m DEEP.
- VENTILATION REQUIREMENTS**
EXISTING RUPIT VENTILATION TO BE INSTALLED WITHIN LOFT SPACE. NUIAIRE DRI-ECO-HC PIV UNIT.
400mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED.
10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION.
EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS/UTILITY ROOMS) TO BE SEALED.
REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING.
MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE.
NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS, NUIAIRE CYFAN CENTRIFUGAL EXTRACT FAN.
- EXTERNAL LANDSCAPE WORKS**
TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC.
INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS.
ANY EXISTING FENCES, EXTERNAL FEATURES OR FIXTURES TO BE REMOVED & REPIRED TO EWI ACCORDING TO DETAIL SD 511.
NEW BIRD/BOX, NESTBOX COMPANY OR SIMILAR, TO BE FIXED TO EWI ACCORDING TO DETAIL SD 511.



Aerial Location



SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:

IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING:

Significant Residual Risks	
Action to be Taken:	Refer to Health and Safety Plan

NOTES

- New pitched roofs to communal staircase/entrance
- Roof replaced throughout
- New guttering & fascias
- new rainwater pipes (extended out & swan-necked to drain)
- New doors throughout
- Soltherm EWI to building envelope

T03	22.01.24	New birdbox with fixing detail added. Ventilation strategy updated to house specification.	LM	SB
T02	19.12.23	Drawing specifications clarified following internal review.	SB	PT
T01	30.10.23	Issued for Tender	DS	PT
P03	01.09.23	Drawing reshuffled	DS	-
P02	15.09.23	Canopy updated	WF	DS
P01	28.07.23	Initial Issue	WF	DS

REV	DATE	DESCRIPTION	BY	CHKD
		Do not scale from this drawing. All dimensions must be checked on site by the contractor prior to the commencement of any fabrication or building works. Where applicable, dimensions and details are to be read in conjunction with specialist consultant drawings and/or other specifications; any discrepancy is to be brought to the attention of Michael Dyson Associates Limited prior to the commencement of any fabrication or building works. This drawing is property and copyright of Michael Dyson Associates Limited. It shall not be copied to any other party without the express written consent of an authorised director of Michael Dyson Associates Limited.		



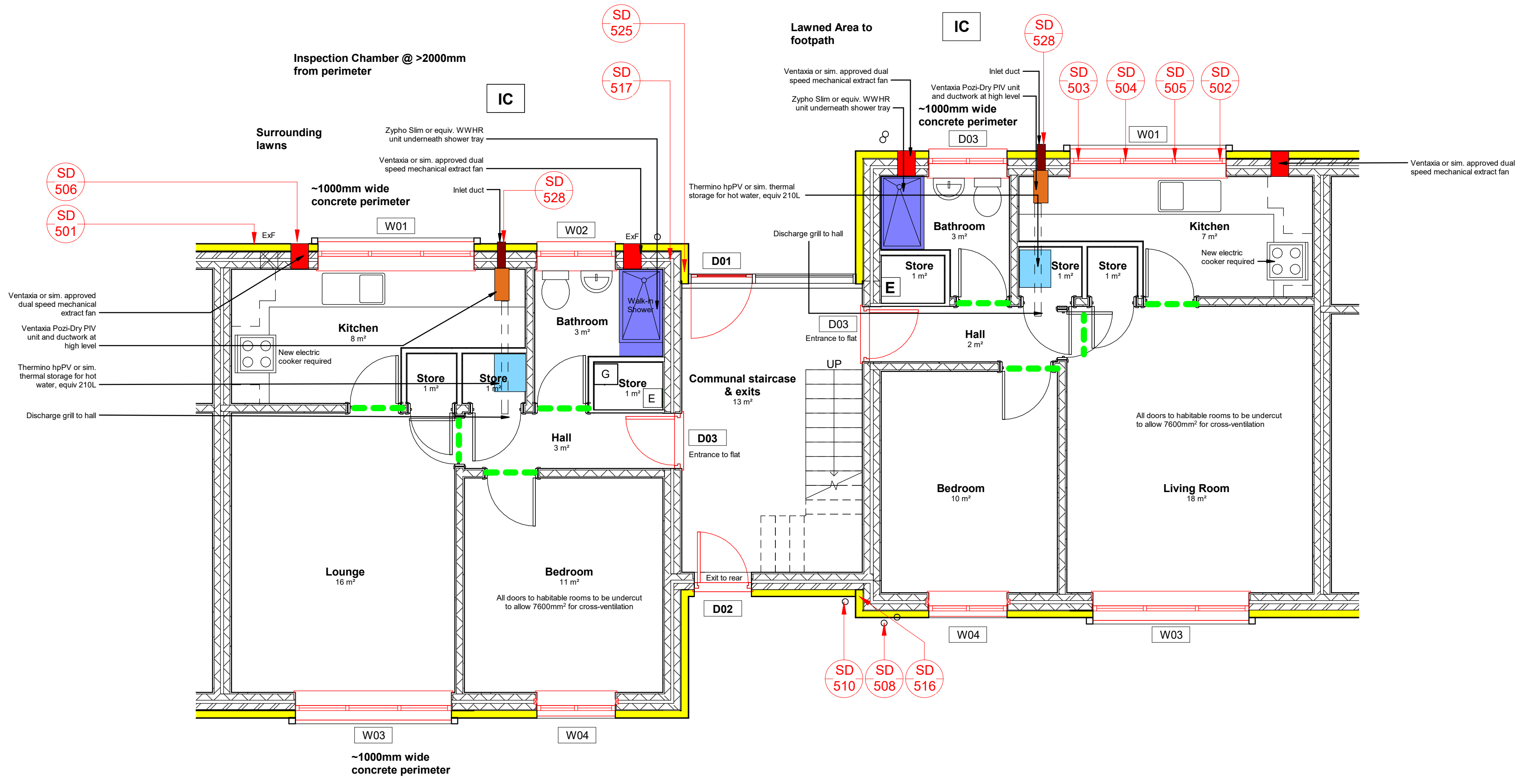
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CLIENT
Vale of Glamorgan Council

PROJECT
Pilot Retrofit Project to 26 Properties
Barry Island, South Wales

TITLE
Peterswell Road, CF62 7NA
Proposed Block Elevations

DRAWN BY:	TN	CHECKED BY:	DS
DATE:	16/05/22	DATE:	
SCALE (if A3):	As indicated	ORIGINAL DRAWING SIZE:	1189 x 841 - A0
DRAWING NO.:	8957-MDA-21-PW-D-A-221	REV.:	T03



Flat 28 & 32 (Ground Floor)
1:50

SCOPE OF WORKS:

- EWI SPECIFICATION**
SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.
- STRUCTURAL WORKS**
CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.
- SPECIFICATION OF NEW WINDOWS**
REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS. ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT. WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONRY. WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.
- SPECIFICATION OF NEW DOORS**
DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING. DOORS TO BE PAS 24 COMPLIANT.
- FIRE PROTECTION MEASURES**
INJECTAFLD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.
- ROOF SPECIFICATION**
ROOF TO RECEIVE 40mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ROOF TO BE RETILED WITH MARLEY RIVEN EDGEMERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS. FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG. NOTE: WHITE ASBESTOS PIPE USED FOR VENTILATION LOCATED IN LOFT SPACE OF FLATS 22 & 26 PETERSWELL ROAD, THIS HAS NOT BEEN NOTED IN THE HISTORIC ASBESTOS REPORT PROVIDED TO MDA, THEREFORE WITHOUT A PHYSICAL SURVEY OF ALL FLATS IT MUST BE ASSUMED THE SAME IS PRESENT THROUGHOUT THE BLOCK.
- HEATING SYSTEM**
EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200m DEEP.
- VENTILATION REQUIREMENTS**
POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN LOFT SPACE, NUAIRE DRI-ECO-HC PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED. 10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION. EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS/UTILITY ROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING. MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE. NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS, NUAIRE CYFAN CENTRIFUGAL EXTRACTOR FAN.
- EXTERNAL LANDSCAPE WORKS**
TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS. ANY EXISTING FENCES, EXTERNAL FEATURES OR FIXTURES TO BE REMOVED & REFIXED TO EWI ACCORDING TO DETAIL SD 511. NEW BIRDBOX, NESTBOX COMPANY OR SIMILAR, TO BE FIXED TO EWI ACCORDING TO DETAIL SD 511.



Aerial Location

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:

IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING:

Significant Residual Risks:	
Action to be Taken:	Refer to Health and Safety Plan

NOTES KEY:

B	- Boiler
DPC	- Damp Proof Course
E	- Electric Meter
EFP	- Electric Fire Place
EWI	- External Wall Insulation
ExF	- Extractor Fan
FFL	- Finished Floor Level
IC	- Inspection Chamber
LH	- Loft Hatch
PIV	- Positive Input Vent
RWP	- Rainwater Pipe
SVP	- Soil Ventilation Pipe
WWP	- Waste Water Pipe

SD - Standard Detail
SpD - Special Detail

LEGEND - Proposed Energy Measures:

	Nuaire Cyfan Centrifugal mechanical extractor fan.
	Zypho Slim Waste Water Heat Recovery device underneath shower tray/bath.
	Soltherm EWI Ultimate Silicone / Deco W Brick-ID applied to existing wall surfaces, with Soltherm Deco X Mosaic System below DPC.
	Existing boiler & flue removed and Thermino hpPV thermal storage for hot water installed, equivalent to 210L hot water cylinder.
	All internal doors to habitable rooms to be undercut to allow 7600mm² for cross-ventilation.

T03	22.01.24	New birdbox with fixing detail added. Ventilation strategy updated to Nuaire specification.	LM	SB
T02	19.12.23	Drawing specifications clarified following internal review.	SB	PT
T01	30.10.23	Issued for Tender	SB	PT
P02	01.09.23	Drawing resheeted	DS	PT
P01	28.07.23	Initial Issue	WF	DS

REV	DATE	DESCRIPTION	BY	CHKD
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TENDER

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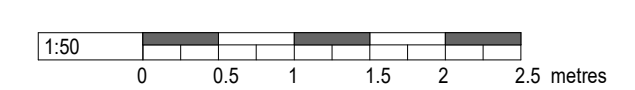
West House, Meltham Road, Honley, Huddersfield HD9 6LB
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CLIENT
Vale of Glamorgan Council

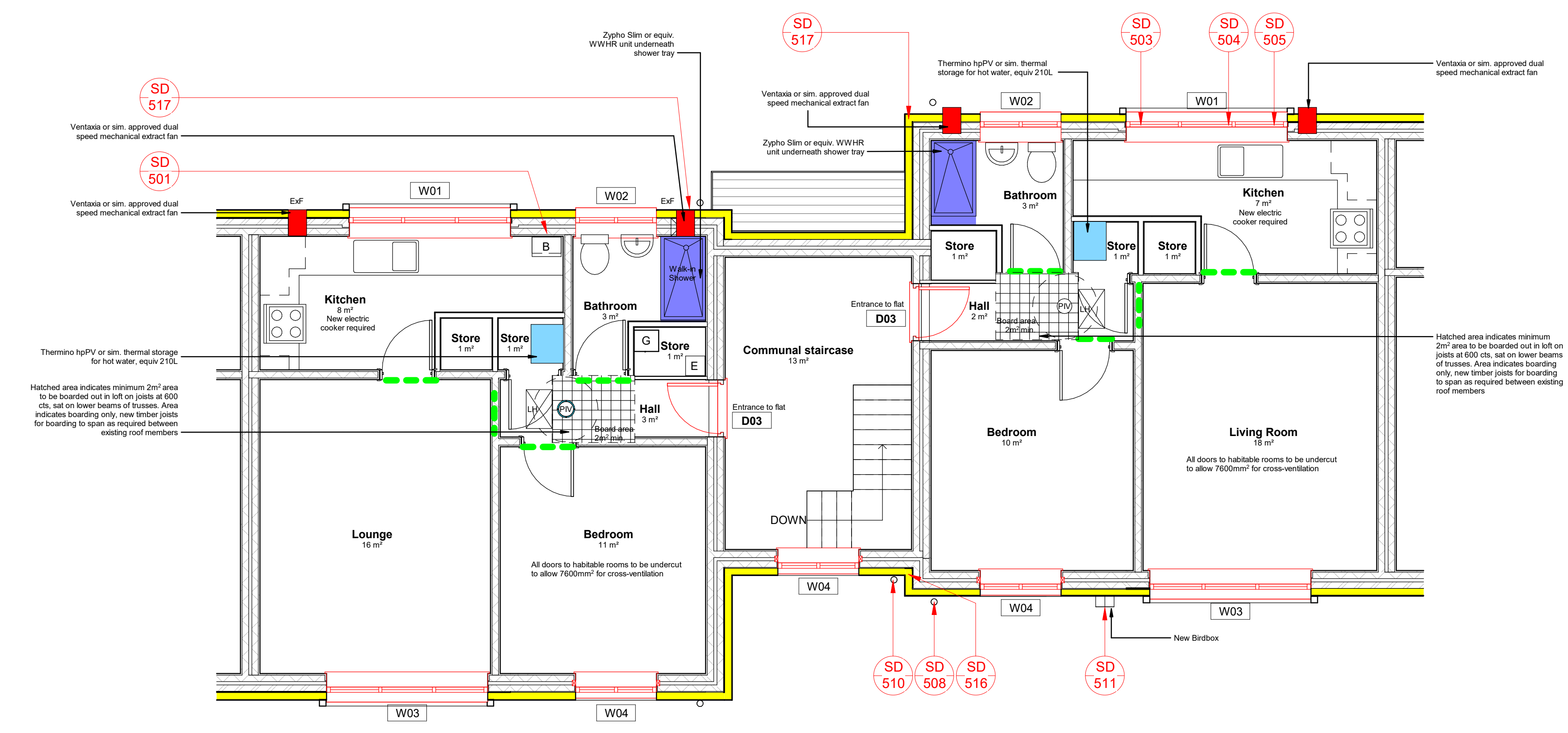
PROJECT
**Pilot Retrofit Project to 26 Properties
Barry Island, South Wales**

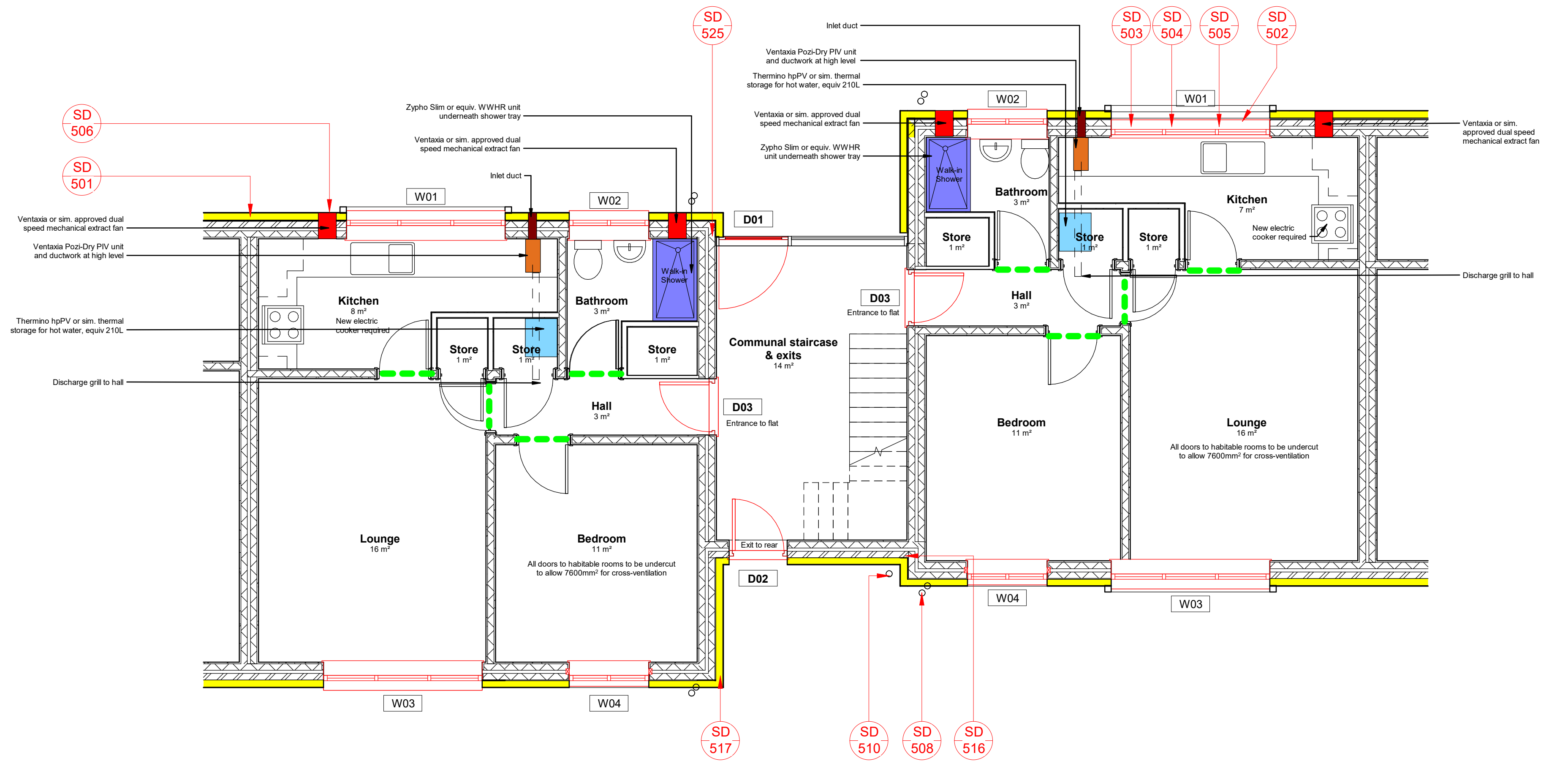
TITLE:
**Flats 28-34 Peterswell Road, CF62 7NA
Proposed GA Plans**

DRAWN BY:	TN	CHECKED BY:	Checker
DATE:	28/07/22	DATE:	
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DRAWING No:	8957-MDA-21-PW-D-A-122	REV:	T03

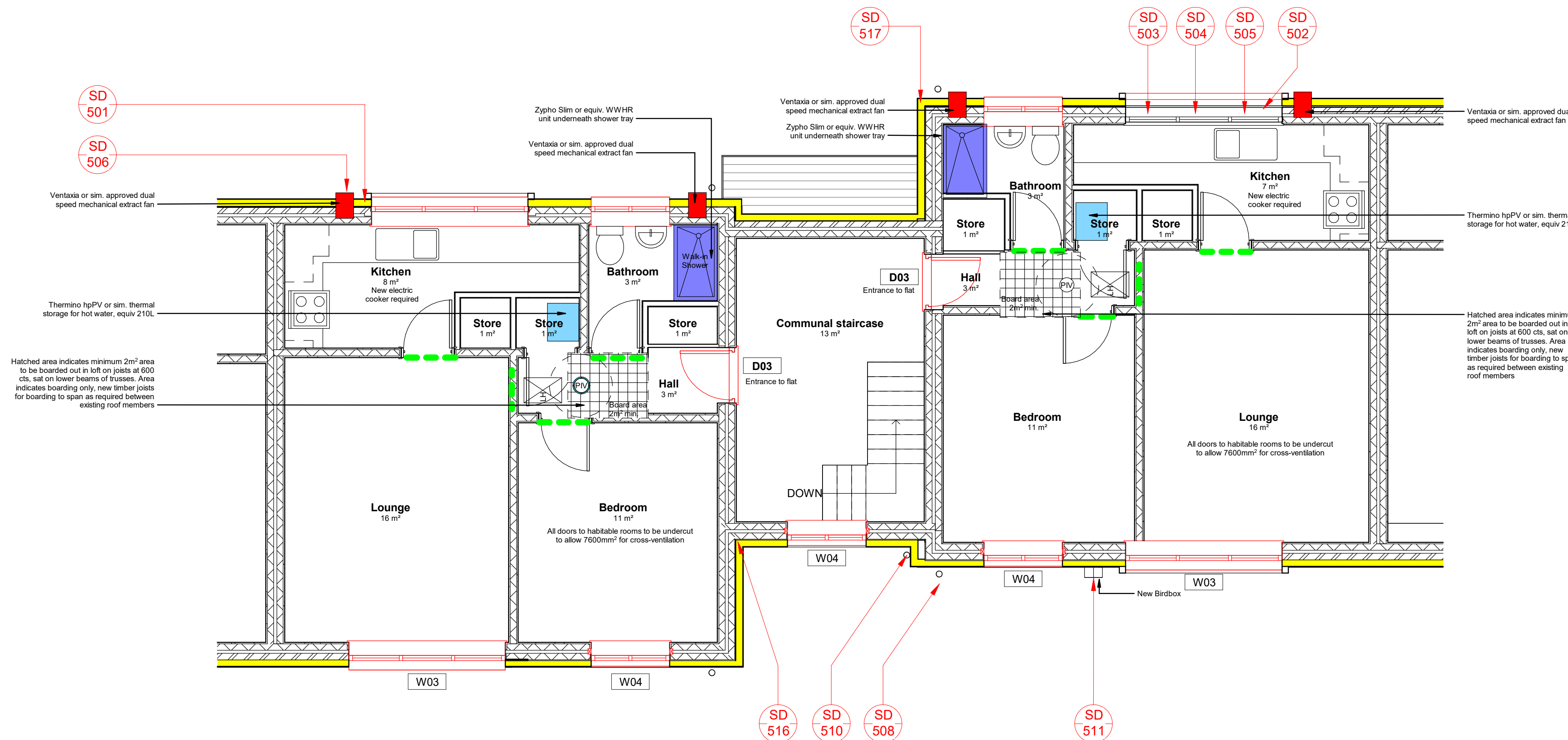


Flat 30 & 34 (First Floor)
1:50





Flat 36 & 40 (Ground Floor)
1 : 50



Flat 38 & 42 (First Floor)
1 : 50

SCOPE OF WORKS:

1. EWI SPECIFICATION
SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.

2. STRUCTURAL WORKS
CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED.
STRUCTURAL REMEDIAL WORK WHERE NECESSARY.
IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.

3. SPECIFICATION OF NEW WINDOWS
REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT. WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONRY. WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.

4. SPECIFICATION OF NEW DOORS
DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING. DOORS TO BE PAS 24 COMPLIANT.

5. FIRE PROTECTION MEASURES
INJECTAFLD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.

6. ROOF SPECIFICATION
ROOF TO RECEIVE 40mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ROOF TO BE RETILED WITH MARLEY RIVEN EDGEMERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS. FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG. NOTE: WHITE ASBESTOS PIPE USED FOR VENTILATION LOCATED IN LOFT SPACE OF FLATS 22 & 26 PETERSWELL ROAD, THIS HAS NOT BEEN NOTED IN THE HISTORIC ASBESTOS REPORT PROVIDED TO MDA, THEREFORE WITHOUT A PHYSICAL SURVEY OF ALL FLATS IT MUST BE ASSUMED THE SAME IS PRESENT THROUGHOUT THE BLOCK.

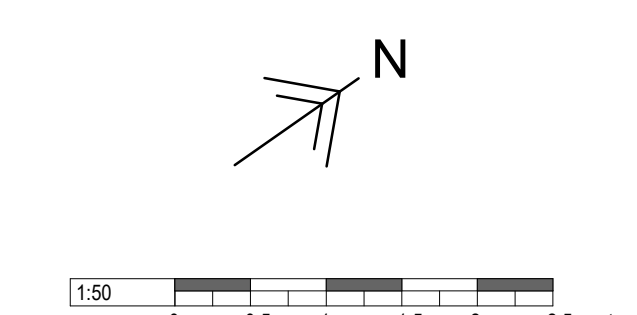
7. HEATING SYSTEM
EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200m DEEP.

8. VENTILATION REQUIREMENTS
POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN LOFT SPACE, NUAIRE DRI-ECO-HC PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED. 10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION. EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS/UTILITY ROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING. MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE. NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS, NUAIRE CYFAN CENTRIFUGAL EXTRACT FAN.

9. EXTERNAL LANDSCAPE WORKS
TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS. ANY EXISTING FENCES, EXTERNAL FEATURES OR FIXTURES TO BE REMOVED & REFIXED TO EWI ACCORDING TO DETAIL SD 511. NEW BIRDBOX, NESTBOX COMPANY OR SIMILAR, TO BE FIXED TO EWI ACCORDING TO DETAIL SD 511.



Aerial Location



SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:				
IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING.				
Significant Residual Risks:				
Action to be Taken:	Refer to Health and Safety Plan			
NOTES KEY:				
B	- Boiler			
DPC	- Damp Proof Course			
E	- Electric Meter			
EFP	- Electric Fire Place			
EWI	- External Wall Insulation			
ExF	- Extractor Fan			
FFL	- Finished Floor Level			
IC	- Inspection Chamber			
LH	- Loft Hatch			
PIV	- Positive Input Vent			
RWP	- Rainwater Pipe			
SVP	- Soil Ventilation Pipe			
WWP	- Waste Water Pipe			
SD	- Standard Detail			
SpD	- Special Detail			
LEGEND - Proposed Energy Measures:				
	Nuaire Cyfan Centrifugal mechanical extractor fan.			
	Zypho Slim Waste Water Heat Recovery device underneath shower tray/bath.			
	Soltherm EWI Ultimate Silicone / Deco W Brick-ID applied to existing wall surfaces, with Soltherm Deco X Mosaic System below DPC.			
	Existing boiler & flue removed and Thermo hpPV thermal storage for hot water installed, equivalent to 210L hot water cylinder.			
	All internal doors to habitable rooms to be undercut to allow 7600mm² for cross-ventilation.			
T03	22.01.24	New birdbox with fixing detail added. Ventilation strategy updated to Nuaire specification.	LM SB	
T02	19.12.23	Drawing specifications clarified following internal review.	SB PT	
T01	30.10.23	Issued for Tender	SB PT	
P02	01.09.23	Drawing resheeted	DS PT	
P01	28.07.23	Initial Issue	WF DS	
REV	DATE	DESCRIPTION	BY	CHKD

TENDER

Do not scale from this drawing. All dimensions must be checked on site by the contractor prior to the commencement of any fabrication or building works. Where applicable, dimensions and details are to be read in conjunction with specialist consultants' drawings and/or other specifications; any disparity is to be brought to the attention of Michael Dyson Associates Limited prior to the commencement of any fabrication or building works. This drawing is property and copyright of Michael Dyson Associates Limited; it shall not be copied to any other party without the express written consent of an authorised director of Michael Dyson Associates Limited.

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CLIENT
Vale of Glamorgan Council

PROJECT
Pilot Retrofit Project to 26 Properties Barry Island, South Wales

TITLE: Flats 36-42 Peterswell Road, CF62 7NA Proposed GA Plans			
DRAWN BY:	TN	CHECKED BY:	Checker
DATE:	28/07/22	DATE:	
SCALE (@ A1)	1 : 50	ORIGINAL DRAWING SIZE	841 x 594 - A1
DRAWING No:	8957-MDA-21-PW-D-A-123	REV:	T03



Front Elevation
1:50



Rear Elevation
1:50



Roofing to be replaced with Riven Edgemere Concrete Interlocking Tile, in Anthracite MA35138, alongside the replacement of fascias, gutters and soffits in coordinating RAL7016 'Anthracite Grey' finish.



New door canopy with decorative gable detail at front, Elite Over-door Canopy (Canopy Shop) or similar, to be installed as per manufacturer's specifications.



Inline Photovoltaic panels to reduce electricity costs, Marley Solar Tile M10, to be installed as per manufacturer's specifications.



New Soltherm External Wall Insulation (Deco W-Brick ID) with brick cut render infills



RAL9002 'Grey-White'

New Soltherm External Wall Insulation to specification, with RAL9002 'Grey-White' render finish.



Perspective View - For Presentation Purposes Only

SCOPE OF WORKS:

- EWI SPECIFICATION**
SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.
- STRUCTURAL WORKS**
CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.
- SPECIFICATION OF NEW WINDOWS**
REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT. WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONRY. WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.

- SPECIFICATION OF NEW DOORS**
DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING. DOORS TO BE PAS 24 COMPLIANT.
- FIRE PROTECTION MEASURES**
INJECTACLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.
- ROOF SPECIFICATION**
ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ROOF TO BE RETILED WITH MARLEY RIVEN EDMERERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS. FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.
- HEATING SYSTEM**
EXISTING BOILER AND FLUE TO BE REMOVED. SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200mm DEEP.

- VENTILATION REQUIREMENTS**
POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN ROOF SPACE, VENT-AXIA POZIDRY PRO PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED. 10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION. EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING. MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE. NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS. LO-CARBON POZIDRY COMPACT PRO, REF: 479188.
- EXTERNAL LANDSCAPE WORKS**
TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS. ANY FENCES TO BE REMOVED & REFIXED ONTOP OF EWI AS WELL AS ANY EXTERNAL FEATURES OR FIXTURES.



Aerial Location

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:

IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING.

Significant Residual Risks:	
Action to be Taken:	Refer to Health and Safety Plan

- NOTES**
- KEY:**
- B - Boiler
 - DPC - Damp Proof Course
 - E - Electric Meter
 - EFP - Electric Fire Place
 - EWI - External Wall Insulation
 - ExF - Extractor Fan
 - FFL - Finished Floor Level
 - IC - Inspection Chamber
 - LH - Loft Hatch
 - PIV - Positive Input Vent
 - RWP - Rainwater Pipe
 - SVP - Soil Ventilation Pipe
 - WWP - Waste Water Pipe
- SD - Standard Detail
SpD - Special Detail

- LEGEND - Proposed Energy Measures:**
- Ventaxia or similar approved dual speed mechanical extractor fan.
 - Zypko Slim Waste Water Recovery device underneath shower tray/bath.
 - Soltherm EWI Ultimate Silicone / Deco W Brick-ID applied to existing wall surfaces, with Soltherm Deco X Mosaic System below DPC.
 - Existing boiler & flue removed and Thermino hpPV thermal storage for hot water installed, equivalent to 210L hot water cylinder.
 - All internal doors to habitable rooms to be undercut to allow 7600mm² for cross-ventilation.

T02	19.12.23	Drawing specifications clarified following internal review	CH	SB
T01	23.10.23	Issue for Tender	SB	DC
P01	26.07.23	Initial Issue	TN	DS

REV	DATE	DESCRIPTION	BY	CHKD
TENDER				

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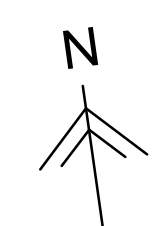
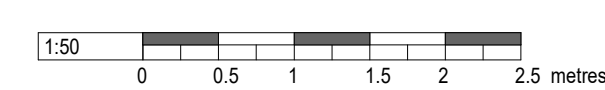
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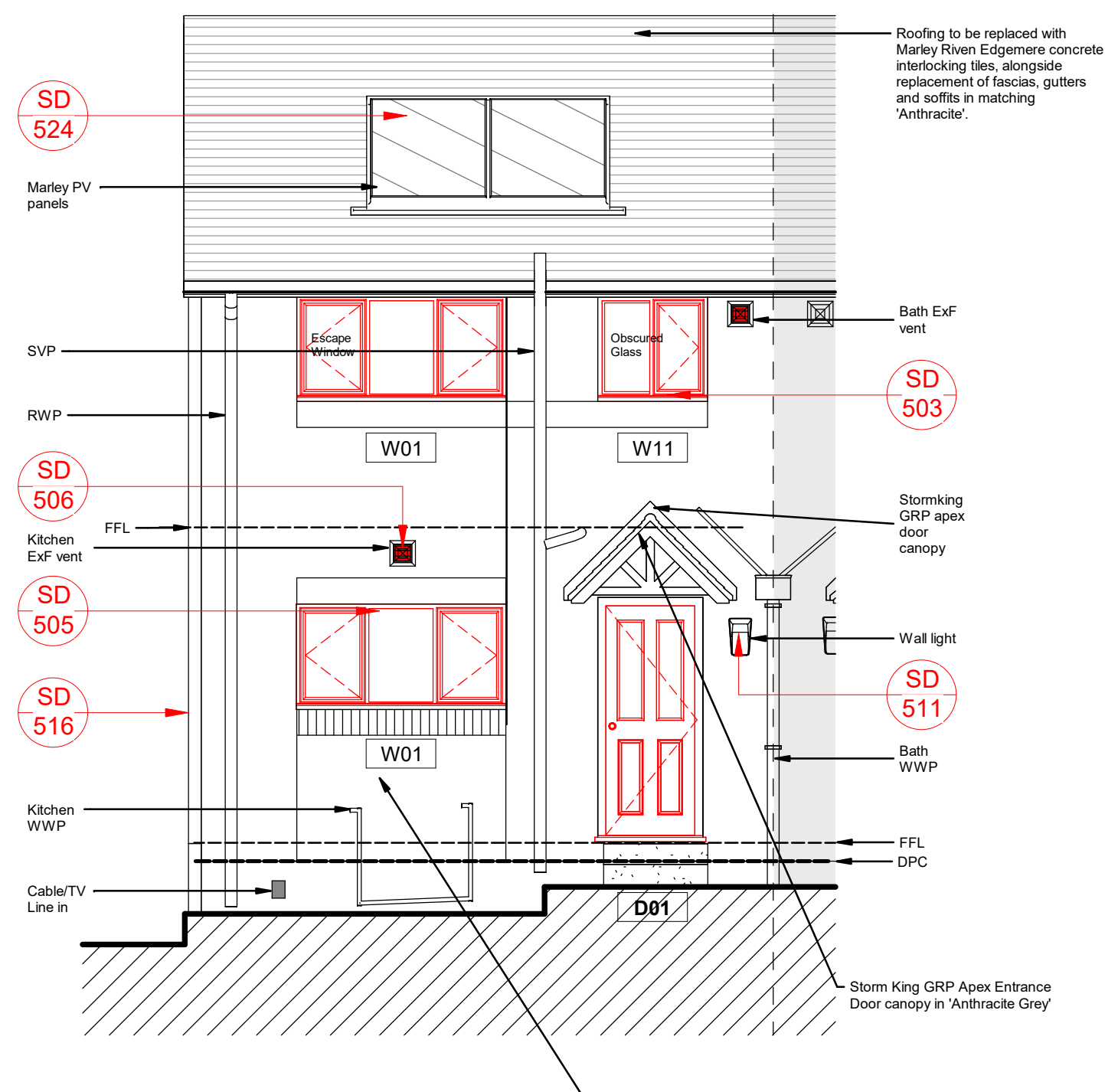
CLIENT
Vale of Glamorgan Council

PROJECT
**Pilot Retrofit Project to 26 Properties
Barry Island, South Wales**

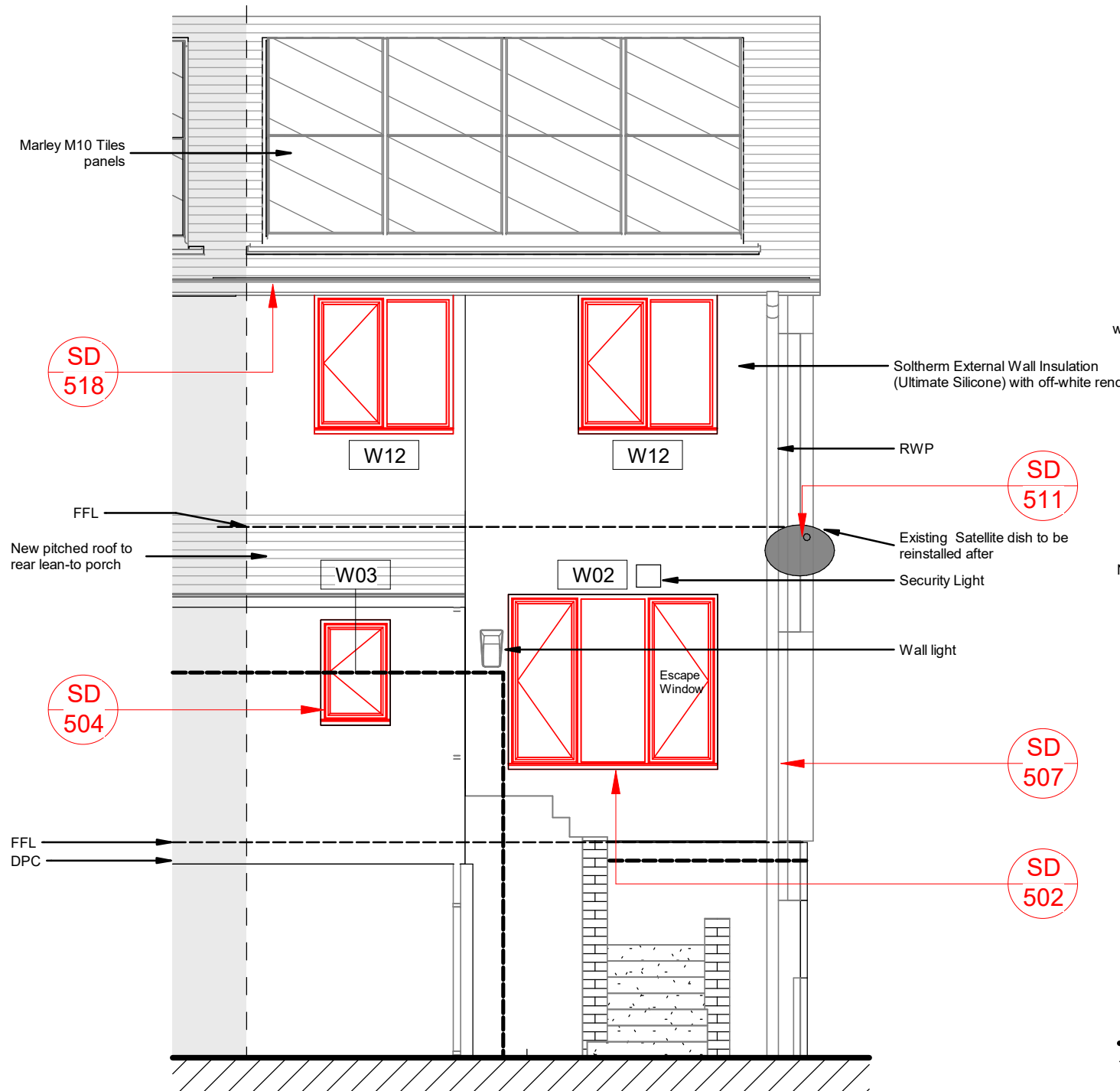
TITLE:
**O'Donnell Rd, CF63 1RB
Proposed Block Plans & Elevations**

DRAWN BY:	TN	CHECKED BY:	RO
DATE:	05/03/23	DATE:	
SCALE (@A1)	As indicated	ORIGINAL DRAWING SIZE	841 x 594 - A1
DRAWING No:	8957-MDA-21-OD-D-A-211	REV:	T02

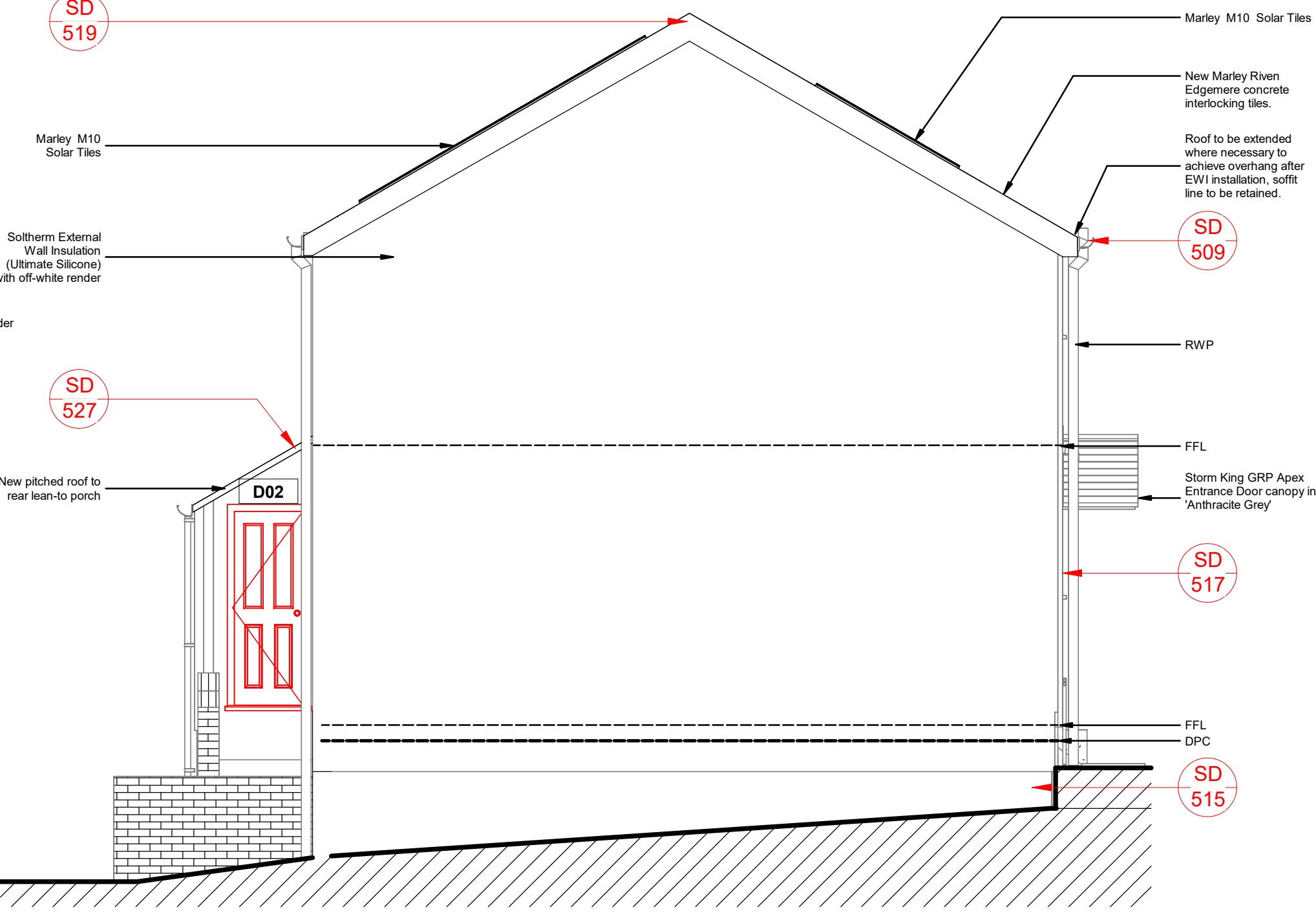




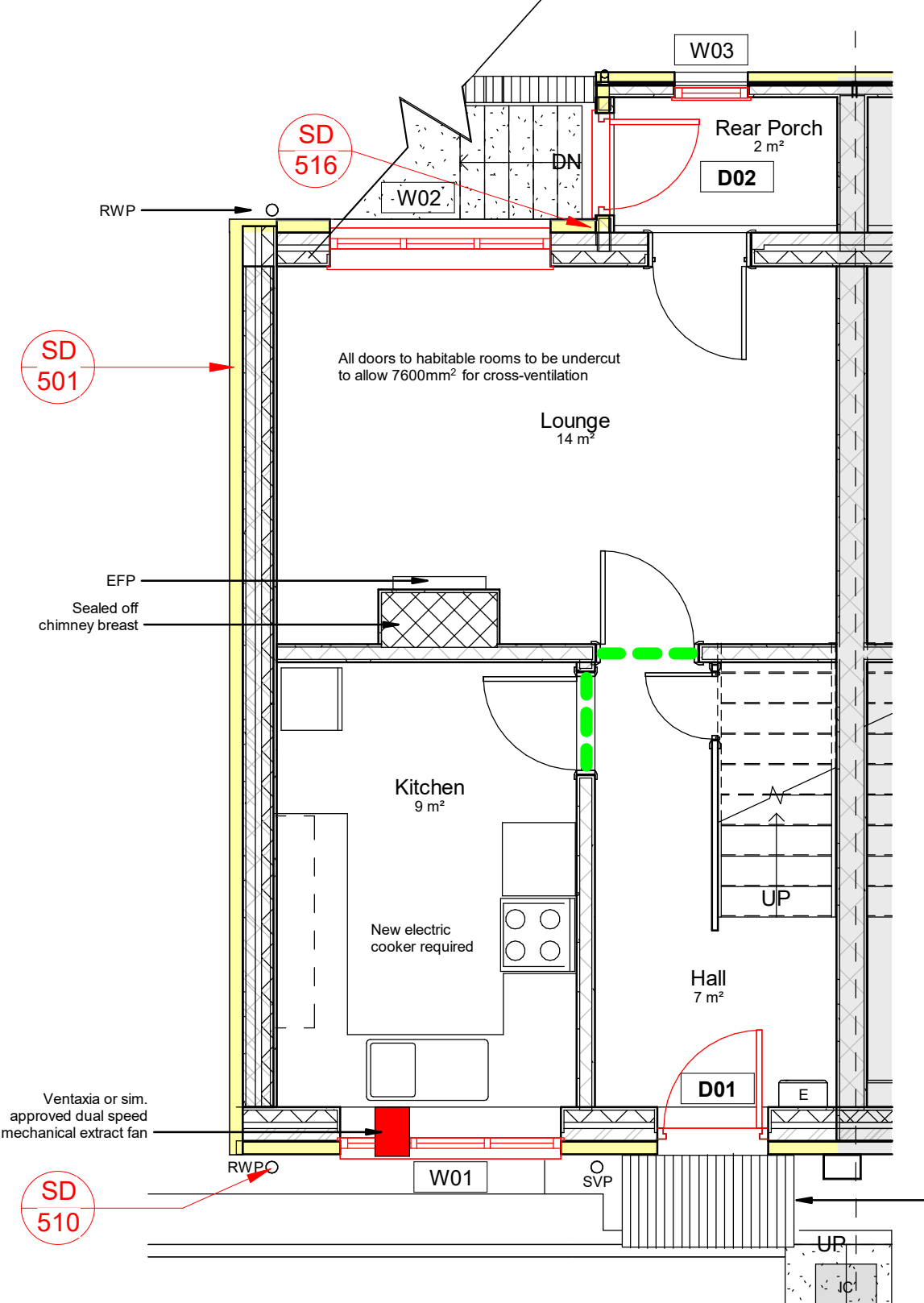
Front Elevation
1:50



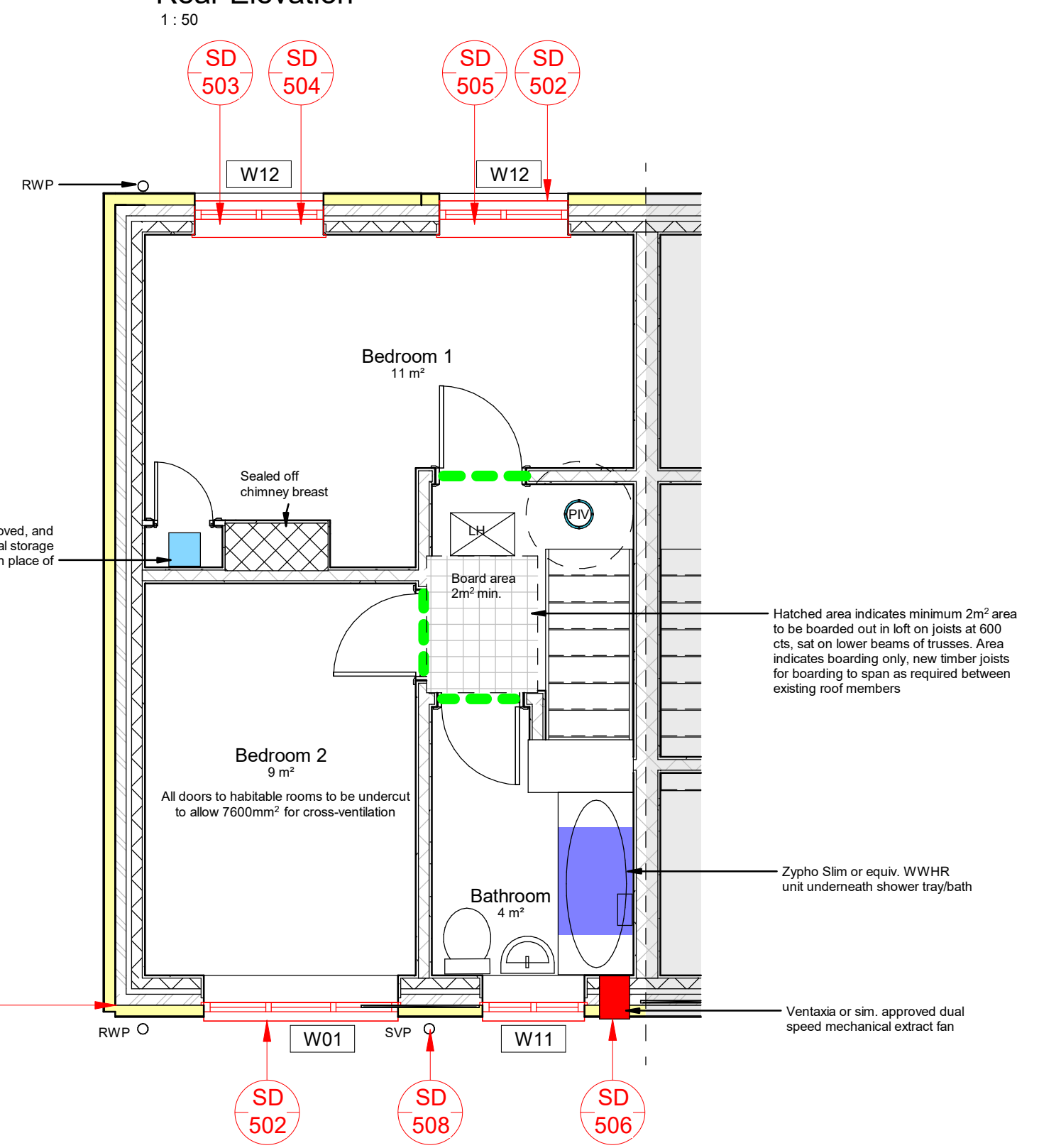
Rear Elevation
1:50



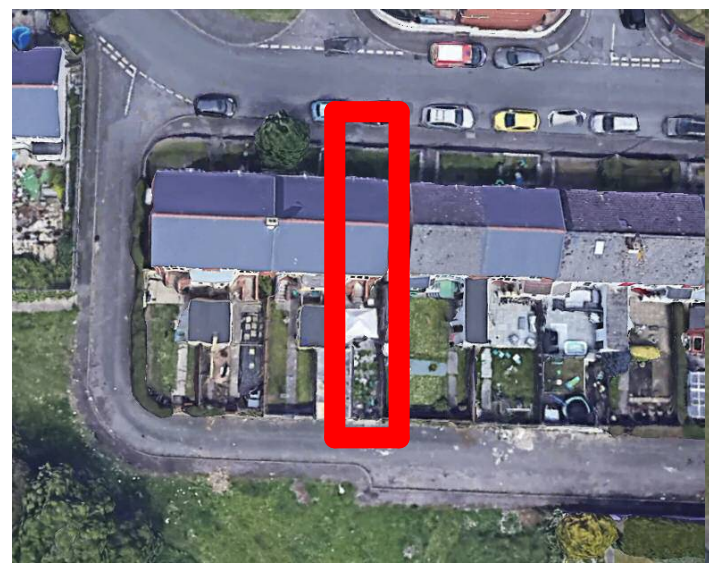
Side Elevation
1:50



Ground Floor Plan
1:50



First Floor Plan
1:50



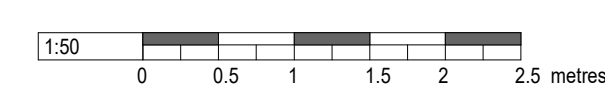
Aerial Location

SCOPE OF WORKS:

- EWI SPECIFICATION**
SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.
- STRUCTURAL WORKS**
CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.
- SPECIFICATION OF NEW WINDOWS**
REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT. WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONRY. WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.

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DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING. DOORS TO BE PAS 24 COMPLIANT.
- FIRE PROTECTION MEASURES**
INJECTA-CLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.
- ROOF SPECIFICATION**
ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ROOF TO BE RETILED WITH MARLEY RIVEN EDGEMERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS. FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.
- HEATING SYSTEM**
EXISTING BOILER AND FLUE TO BE REMOVED. SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200mm DEEP.

- VENTILATION REQUIREMENTS**
POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN ROOF SPACE, VENT-AXIA POZIDRY PRO PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED. 10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION. EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING. MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE. NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS. LO-CARBON POZIDRY COMPACT PRO, REF: 479188.
- EXTERNAL LANDSCAPE WORKS**
TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS. ANY FENCES TO BE REMOVED & REFIXED ONTOP OF EWI AS WELL AS ANY EXTERNAL FEATURES OR FIXTURES.



SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:

IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING.

Significant Residual Risks:	
Action to be Taken:	Refer to Health and Safety Plan

- NOTES**
- KEY:**
- B - Boiler
 - DPC - Damp Proof Course
 - E - Electric Meter
 - EFP - Electric Fire Place
 - EXF - Extractor Fan
 - FFL - Finished Floor Level
 - IC - Inspection Chamber
 - LH - Loft Hatch
 - PIV - Positive Input Vent
 - RWP - Rainwater Pipe
 - SVP - Soil Ventilation Pipe
 - WWP - Waste Water Pipe
- SD - Standard Detail
SpD - Special Detail

- LEGEND - Proposed Energy Measures:**
- Ventaxia or similar approved dual speed mechanical extractor fan.
 - Zypho Slim Waste Water Heat Recovery device underneath shower tray/bath.
 - Soltherm EWI Ultimate Silicone / Deco W Brick-ID applied to existing wall surfaces, with Soltherm Deco X Mosaic System below DPC.
 - Existing boiler & flue removed and Thermino hpPV thermal storage for hot water installed, equivalent to 210L hot water cylinder.
 - All internal doors to habitable rooms to be undercut to allow 7600mm² for cross-ventilation.

T02	19.12.23	Drawing specifications clarified following internal review	CH	SB
T01	23.10.23	Issue for Tender	SB	DC
P01	26.07.23	Initial Issue	TN	DS

REV	DATE	DESCRIPTION	BY	CHKD
TENDER				

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CLIENT
Vale of Glamorgan Council

PROJECT
**Pilot Retrofit Project to 26 Properties
Barry Island, South Wales**

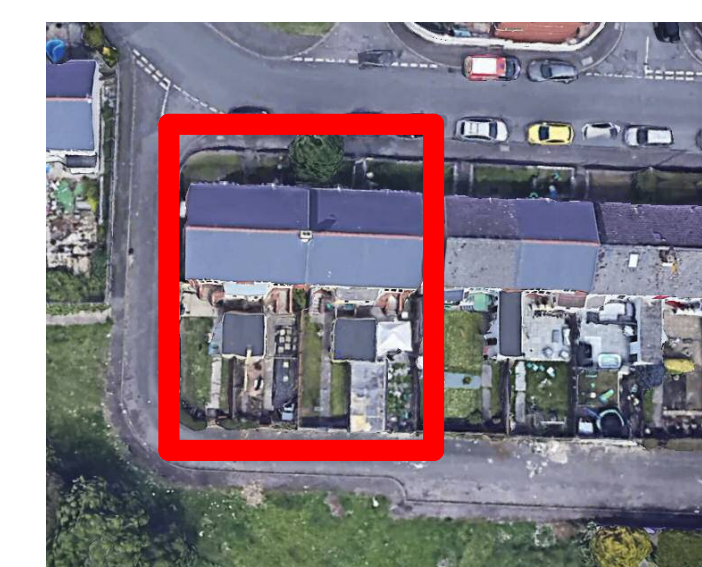
TITLE:
**31 O'Donnell Rd, CF63 1RB
Proposed GA Plans & Elevations**

DRAWN BY:	TN	CHECKED BY:	DS
DATE:	05/05/23	DATE:	
SCALE (@A1)	1:50	ORIGINAL DRAWING SIZE	841 x 594 - A1
DRAWING No:	8957-MDA-21-OD-D-A-121	REV:	T02

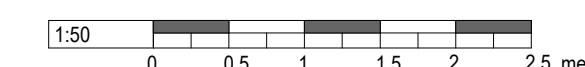
O'DONNELL ROAD



Site Plan
1:50



Aerial Location



SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:

IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING.

Significant Residual Risks:	
Action to be Taken:	Refer to Health and Safety Plan

NOTES

T02	19.12.23	Drawing specifications clarified following internal review	CH	SB
T01	23.10.23	Issue for Tender	SB	DC

REV	DATE	DESCRIPTION	BY	CHKD
-----	------	-------------	----	------

TENDER

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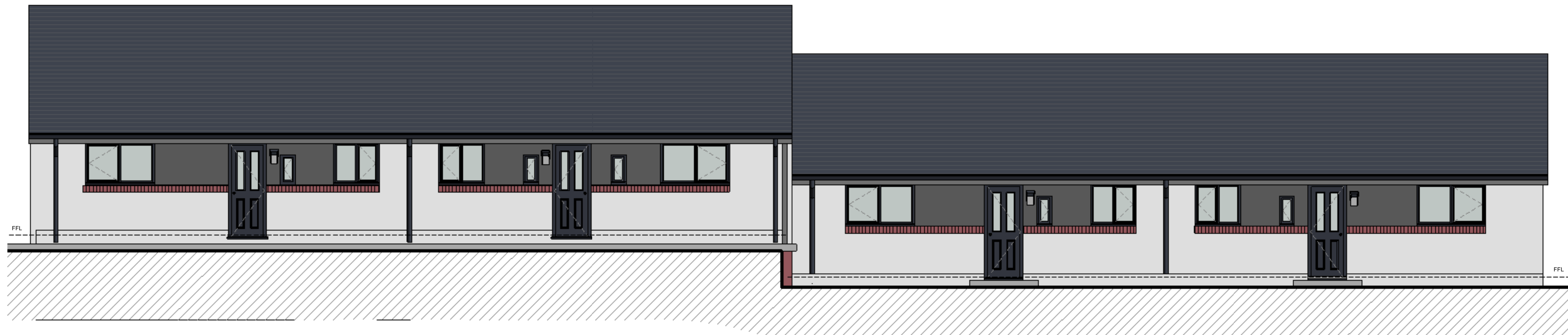
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CLIENT
Vale of Glamorgan Council

PROJECT
**Pilot Retrofit Project to 26 Properties
Barry Island, South Wales**

TITLE:
**O'Donnell Rd, CF63 1RB
Site Plan**

DRAWN BY:	CH	CHECKED BY:	SB
DATE:	23/10/2023	DATE:	
SCALE (@ A1)	1:50	ORIGINAL DRAWING SIZE	841 x 594 - A1
DRAWING No:	8957-MDA-SI-OD-D-A-001	REV:	T02



Elevation (Front)
1:50



Elevation (Rear)
1:50

Inline Photovoltaic panels to reduce electricity costs, Marley SolarTile M10, to be installed as per manufacturer's specifications.

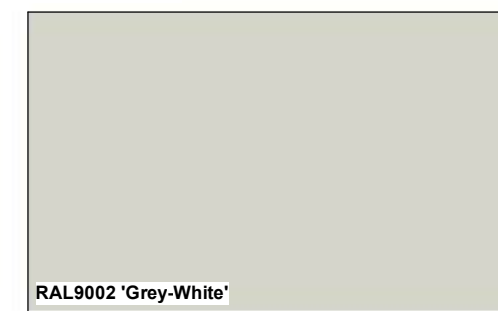


New Soltherm External Wall Insulation (Deco W-Brick ID) with brick cut render infills



Roofing to be replaced with Riven Edgemere Concrete Interlocking Tile, in Anthracite MA35138, alongside the replacement of fascias, gutters and soffits in coordinating RAL7016 'Anthracite Grey' finish.

New Soltherm External Wall Insulation to specification, with RAL9002 'Grey-White' render finish.



3D Perspective View (NW) - For Presentation Purpose Only



Aerial Location

SCOPE OF WORKS:

1. EWI SPECIFICATION

SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.

2. STRUCTURAL WORKS

CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.

3. SPECIFICATION OF NEW WINDOWS

REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT. WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONRY. WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.

4. SPECIFICATION OF NEW DOORS

DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING. DOORS TO BE PAS 24 COMPLIANT.

5. FIRE PROTECTION MEASURES

INJECTACLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.

6. ROOF SPECIFICATION

ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ROOF TO BE RETILED WITH MARLEY RIVEN EDMERERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS. FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.

7. HEATING SYSTEM

EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200mm DEEP.

8. VENTILATION REQUIREMENTS

POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN ROOF SPACE, VENT-AXIA POZIDRY PRO PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED. 10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION. EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING. MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE. NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS. LO-CARBON POZIDRY COMPACT PRO, REF: 479188.

9. EXTERNAL LANDSCAPE WORKS

TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS. ANY FENCES TO BE REMOVED & REFIXED ON TOP OF EWI AS WELL AS ANY EXTERNAL FEATURES OR FIXTURES.

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:

IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING.

Significant Residual Risks:

Action to be Taken:

Refer to Health and Safety Plan

NOTES

KEY:

- B - Boiler
- DPC - Damp Proof Course
- E - Electric Meter
- EFP - Electric Fire Place
- EWI - External Wall Insulation
- ExF - Extractor Fan
- FFL - Finished Floor Level
- IC - Inspection Chamber
- LH - Loft Hatch
- PIV - Positive Input Vent
- RWP - Rainwater Pipe
- SVP - Soil Ventilation Pipe
- WWP - Waste Water Pipe

SD - Standard Detail

SpD - Special Detail

LEGEND - Proposed Energy Measures:

Ventaxia or similar approved dual speed mechanical extractor fan.

Zyphe Slim Waste Water Heat Recovery device underneath shower tray/bath.

Soltherm EWI Ultimate Silicone / Deco W Brick-ID applied to existing wall surfaces, with Soltherm Deco X Mosaic System below DPC.

Existing boiler & flue removed and Thermio hpPV thermal storage for hot water installed, equivalent to 210L hot water cylinder.

All internal doors to habitable rooms to be undercut to allow 7600mm² for cross-ventilation.

T02	19.12.23	Drawing specifications clarified following internal review	CH	
T01	30.10.23	Issued for Tender	SB	PT
P02	17.8.23	Initial Issue	DS	-
P01	13.7.23	Initial Issue	TN	DS

REV	DATE	DESCRIPTION	BY	CHKD
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TENDER

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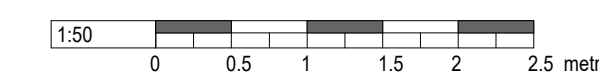
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w. www.mdyson.co.uk

CLIENT
Vale of Glamorgan Council

PROJECT
**Pilot Retrofit Project to 26 Properties
Barry Island, South Wales**

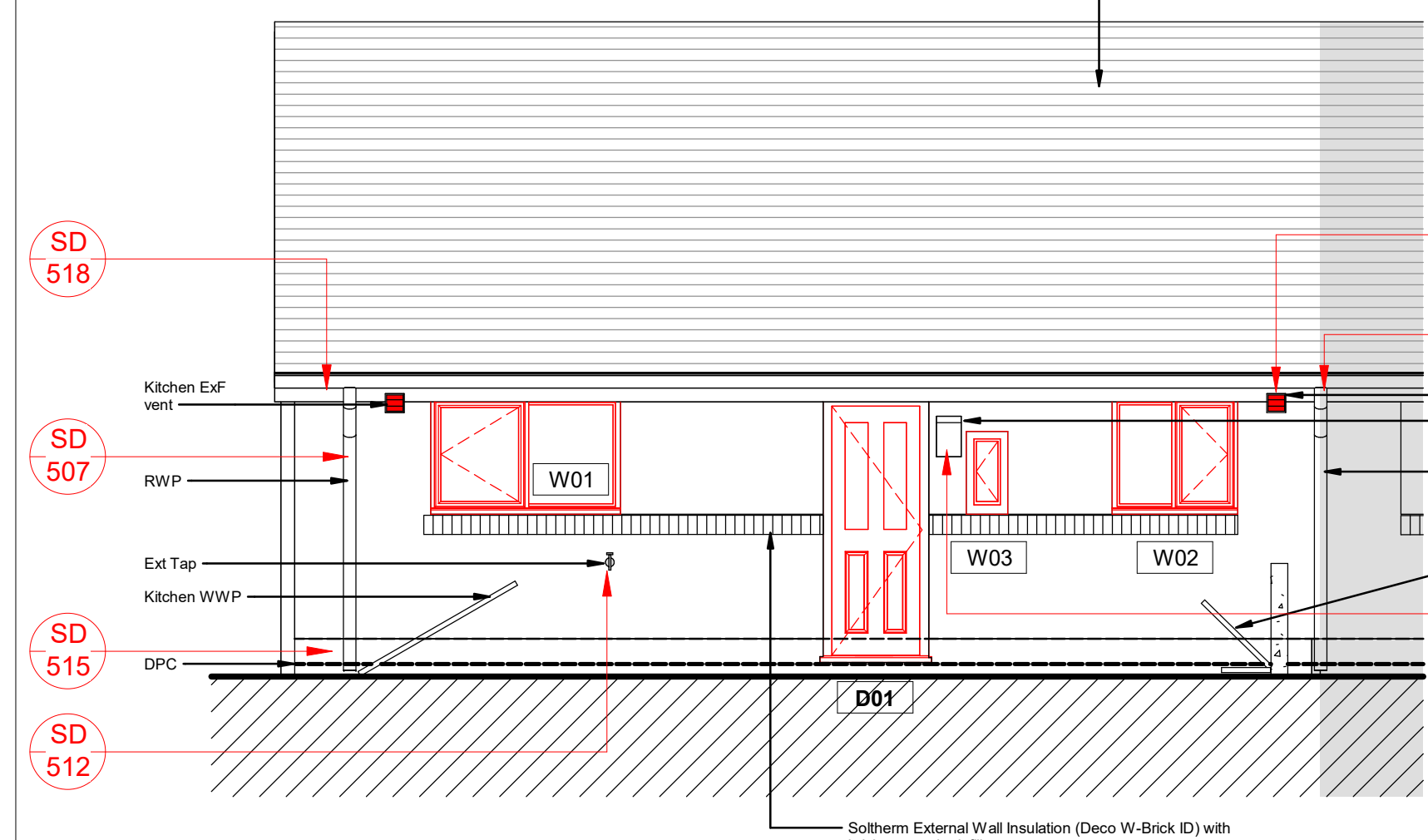
TITLE:
**Dudley Place, CF62 7HY
Proposed Block Elevations**

DRAWN BY:	TN	CHECKED BY:	Checker
DATE:	05/16/22	DATE:	
SCALE (@ A1)	As indicated	ORIGINAL DRAWING SIZE	841 x 594 - A1
DRAWING No:	8957-MDA-21-DU-D-A-211	REV:	T02

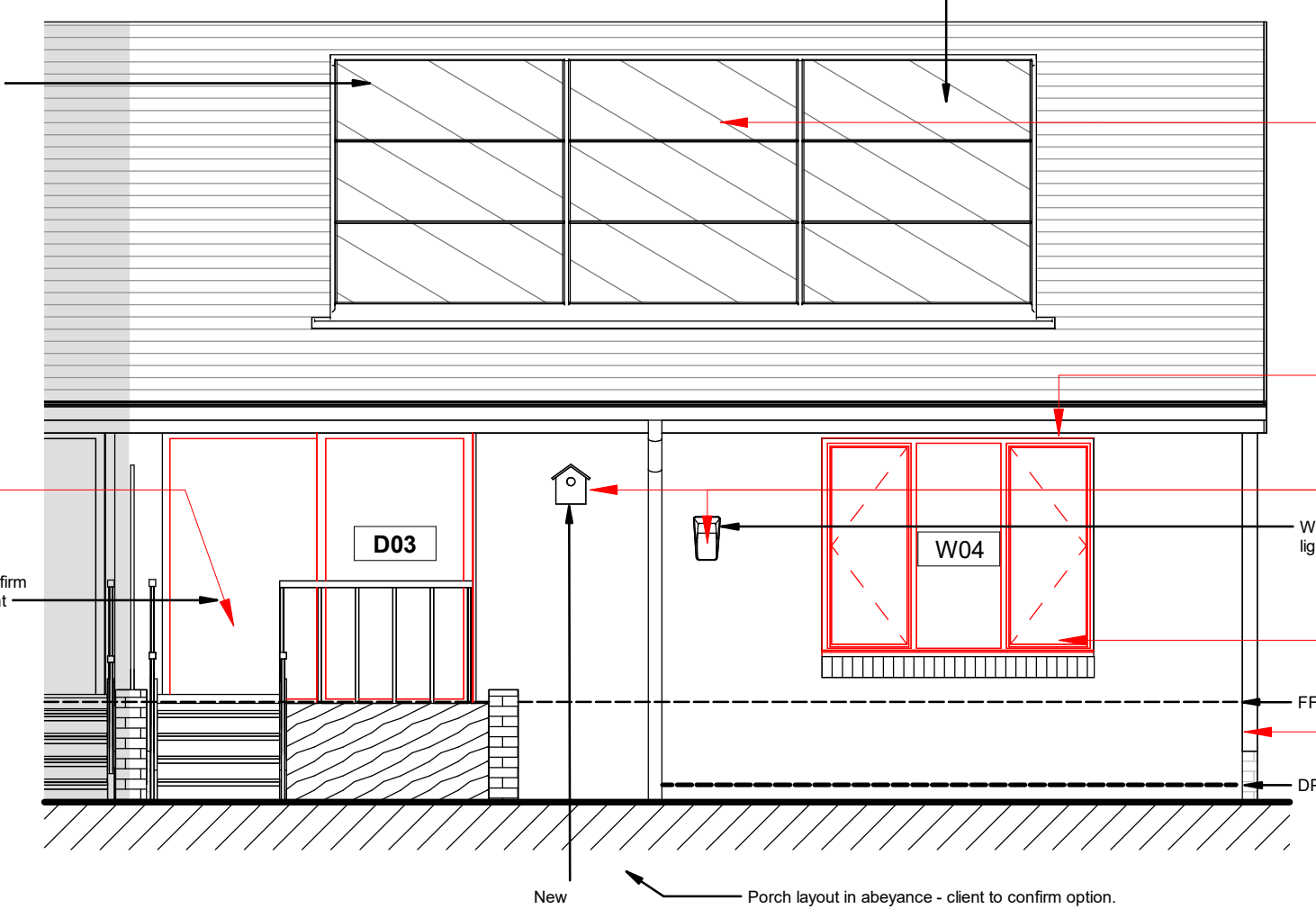


Roofing to be replaced with Marley Riven Edgemere concrete interlocking tiles, alongside replacement of fascias, gutters and soffits in matching 'Anthracite'.

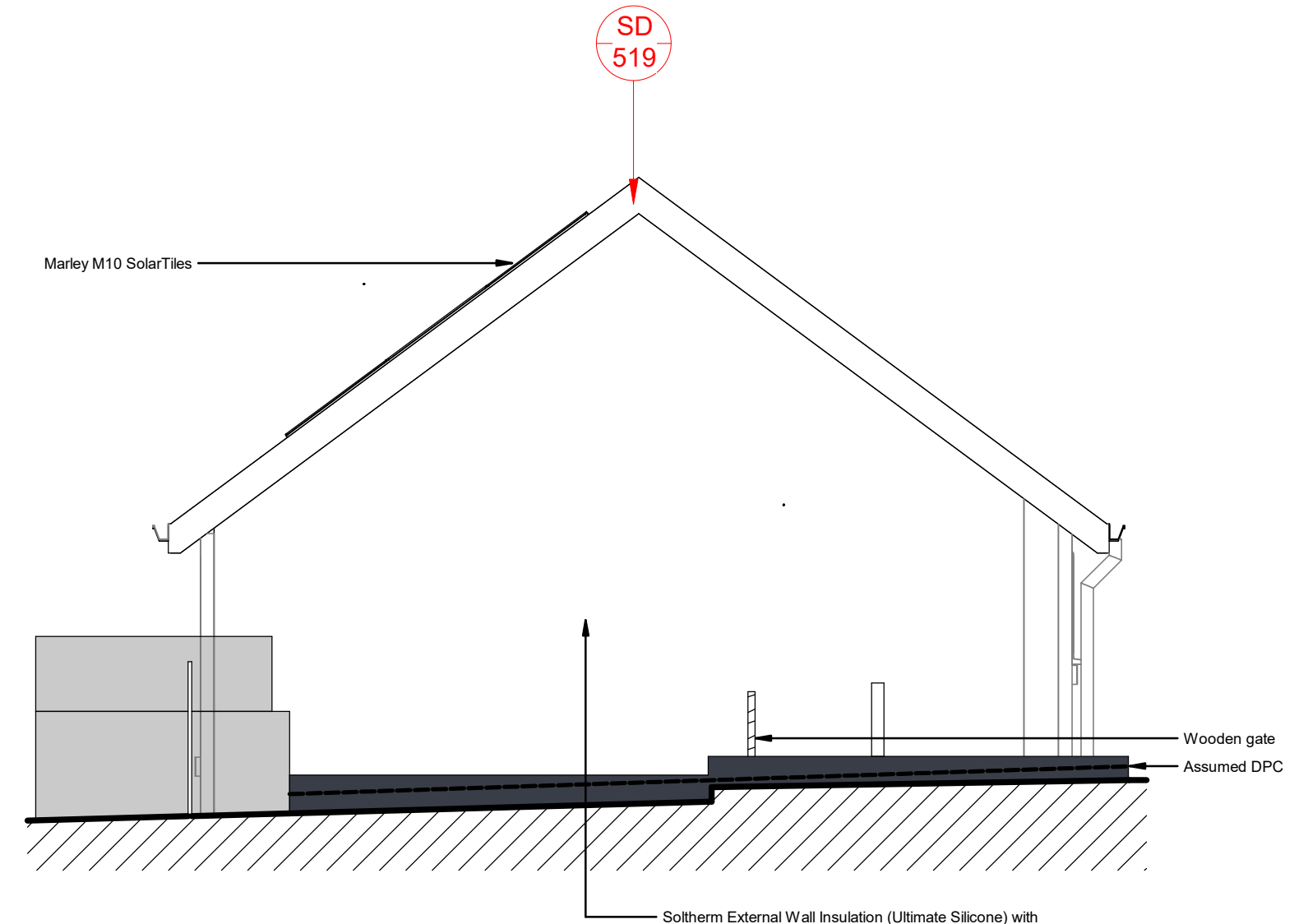
Inline photovoltaic panels to reduce electricity costs



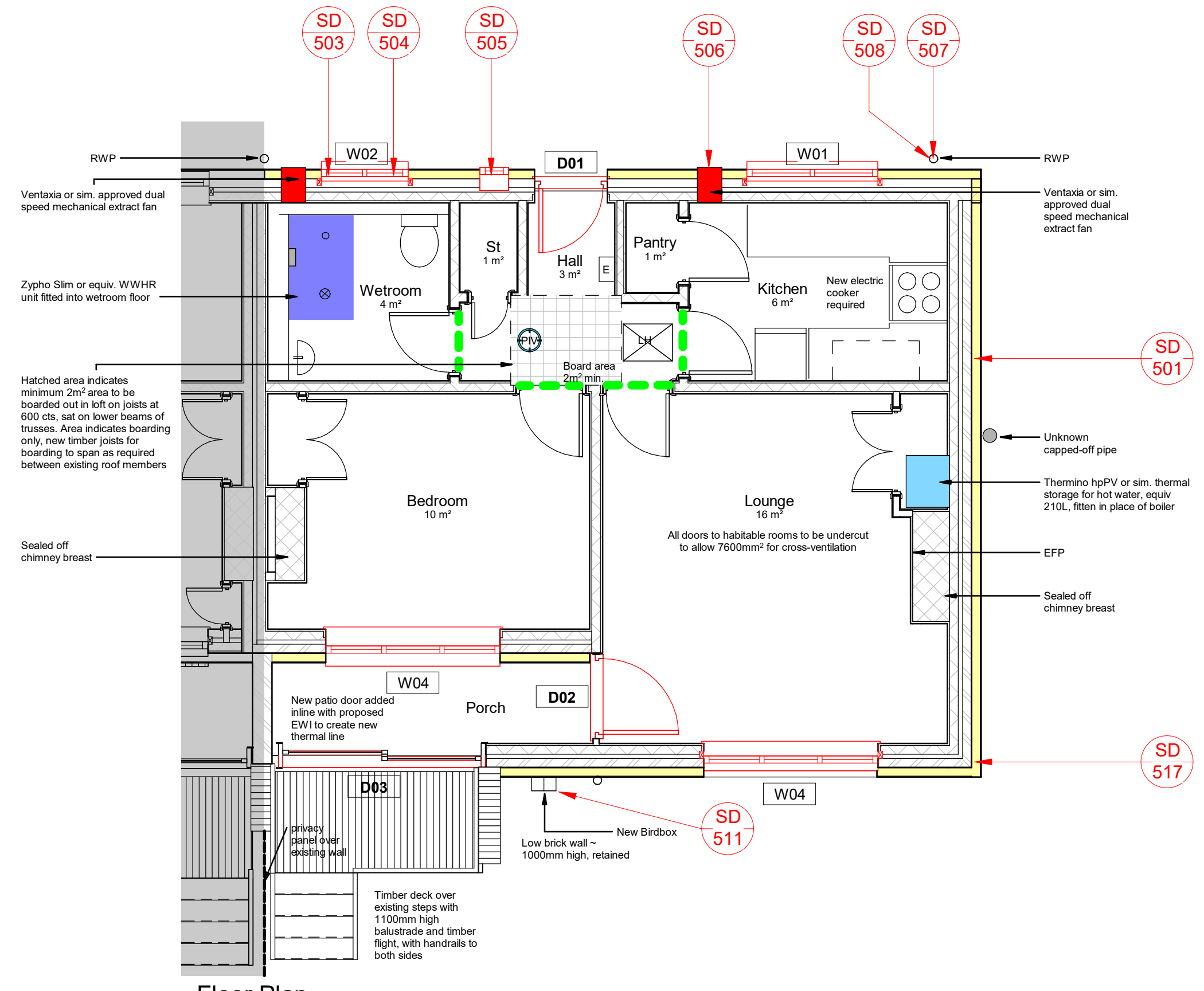
Front Elevation
1:50



Rear Elevation
1:50



Side Elevation
1:50



Floor Plan
1:50

SCOPE OF WORKS:

- EWI SPECIFICATION**
SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.
- STRUCTURAL WORKS**
CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.
- SPECIFICATION OF NEW WINDOWS**
REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT. WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONRY. WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.

- SPECIFICATION OF NEW DOORS**
DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING. DOORS TO BE PAS 24 COMPLIANT.
- FIRE PROTECTION MEASURES**
INJECTA-CLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.
- ROOF SPECIFICATION**
ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ROOF TO BE TILED WITH MARLEY RIVEN EDGEMERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS. FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.
- HEATING SYSTEM**
EXISTING BOILER AND FLUE TO BE REMOVED. SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200mm DEEP.

- VENTILATION REQUIREMENTS**
POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN LOFT SPACE, NUAIRE DRI-ECO-HC PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED. 10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION. EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS/UTILITY ROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING. MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE. NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS, NUAIRE CYFAN CENTRIFUGAL EXTRACT FAN.
- EXTERNAL LANDSCAPE WORKS**
TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS. ANY EXISTING FENCES, EXTERNAL FEATURES OR FIXTURES TO BE REMOVED & REFIXED TO EWI ACCORDING TO DETAIL SD 511. NEW BIRDBOX, NESTBOX COMPANY OR SIMILAR, TO BE FIXED TO EWI ACCORDING TO DETAIL SD 511.



Aerial Location

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:

IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING.

Significant Residual Risks:	
Action to be Taken:	Refer to Health and Safety Plan

- NOTES**
- KEY:**
- B - Boiler
 - DPC - Damp Proof Course
 - E - Electric Meter
 - EFP - Electric Fire Place
 - EWI - External Wall Insulation
 - EXF - Extractor Fan
 - FFL - Finished Floor Level
 - IC - Inspection Chamber
 - LH - Loft Hatch
 - PIV - Positive Input Vent
 - RWP - Rainwater Pipe
 - SVP - Soil Ventilation Pipe
 - WWP - Waste Water Pipe
- SD - Standard Detail
SpD - Special Detail

- LEGEND - Proposed Energy Measures:**
- Nuaire Cyfan Centrifugal mechanical extractor fan.
 - Zypho Slim Waste Water Heat Recovery device underneath shower tray/bath.
 - Soltherm EWI Ultimate Silicone / Deco W Brick-ID applied to existing wall surfaces, with Soltherm Deco X Mosaic System below DPC.
 - Existing boiler & flue removed and Thermino hpPV thermal storage for hot water installed, equivalent to 210L hot water cylinder.
 - All internal doors to habitable rooms to be undercut to allow 7600mm² for cross-ventilation.
- | | | | | |
|-----|----------|---|----|----|
| T03 | 18.01.24 | New birdbox with fixing detail added. Ventilation strategy updated to Nuaire specification. | LM | PT |
| T02 | 19.12.23 | Drawing specifications clarified following internal review | CH | |
| T01 | 30.10.23 | Issued for Tender | SB | PT |
| P02 | 17.8.23 | Initial Issue | DS | - |
| P01 | 13.7.23 | Initial Issue | TN | DS |

REV	DATE	DESCRIPTION	BY	CHKD
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TENDER

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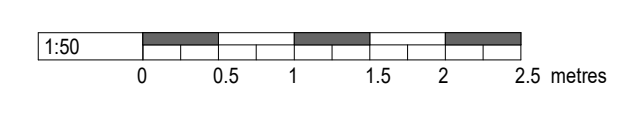
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Vale of Glamorgan Council

PROJECT
**Pilot Retrofit Project to 26 Properties
Barry Island, South Wales**

TITLE:
**9 Dudley Place, CF62 7HY
Proposed GA Plans & Elevations**

DRAWN BY:	TN	CHECKED BY:	DS
DATE:	05/05/23	DATE:	
SCALE (@ A1)	1:50	ORIGINAL DRAWING SIZE	841 x 594 - A1
DRAWING No:	8957-MDA-21-DU-D-A-121	REV:	T03





Front Elevation
1:50



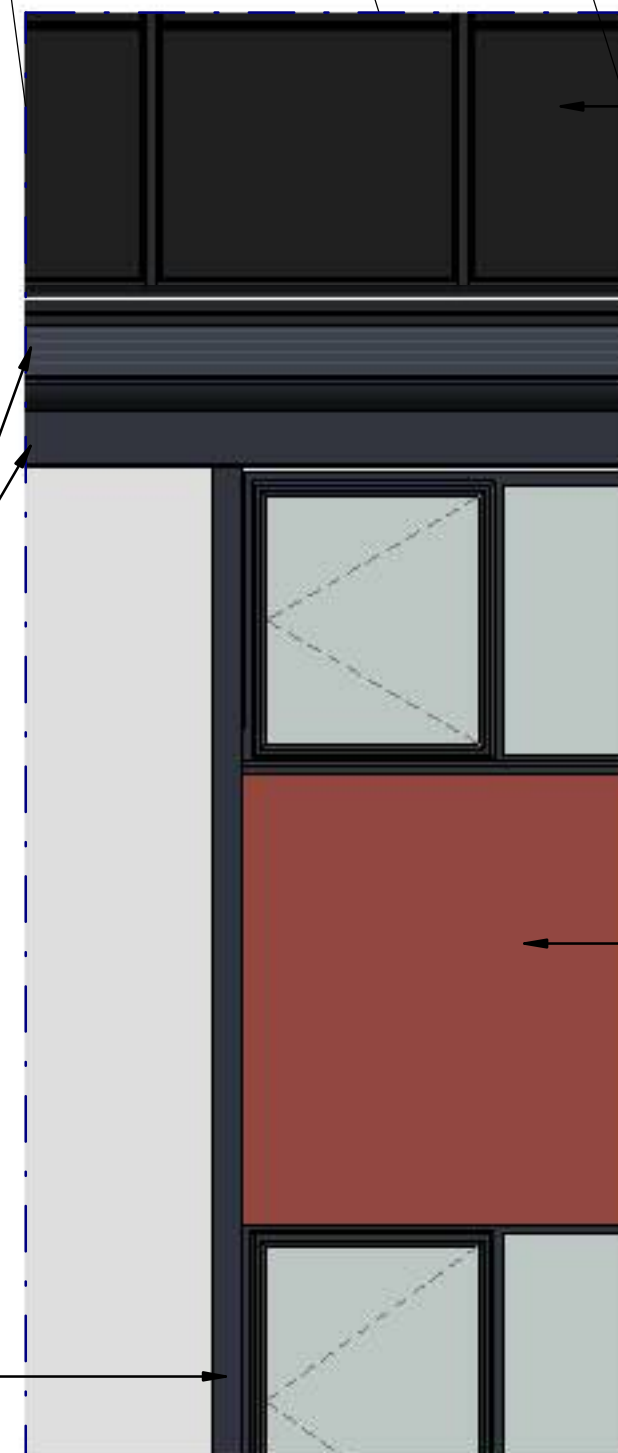
Rear Elevation
1:50



Roofing to be replaced with Riven Edgemere Concrete Interlocking Tile, in Anthracite M35138, alongside the replacement of fascias, gutters and soffits in coordinating RAL7016 'Anthracite Grey' finish.



Aluminium window pods, matt finished in RAL7016 'Anthracite Grey', Windypods or similar, to be installed as per manufacturer's specifications. See detail SD511.



Inline Photovoltaic panels to reduce electricity costs, Marley SolarTile M10, to be installed as per manufacturer's specifications.



New Soltherm External Wall Insulation to specification for window infill, in contrasting colour render finish RAL 3009 'Oxide red'.



Perspective Render - For Presentation Purposes Only

SCOPE OF WORKS:

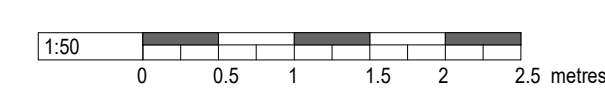
- EWI SPECIFICATION**
SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.
- STRUCTURAL WORKS**
CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED.
STRUCTURAL REMEDIAL WORK WHERE NECESSARY.
IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.
- SPECIFICATION OF NEW WINDOWS**
REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER.
NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER.
SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm.
WINDOW BOARD SPECIFICATION TO BE CONFIRMED.
GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS.
FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS.
WINDOWS TO BE PAS 24 COMPLIANT.
WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONRY. WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW.
NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.

- SPECIFICATION OF NEW DOORS**
DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
LEVEL ACCESS TO BE MAINTAINED, IF EXISTING.
DOORS TO BE PAS 24 COMPLIANT.
- FIRE PROTECTION MEASURES**
INJECTA-CLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.
- ROOF SPECIFICATION**
ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11.
ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
ROOF TO BE RETILED WITH MARLEY RIVEN EDGEMERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS.
FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION.
ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.
- HEATING SYSTEM**
EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528.
NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200mm DEEP.

- VENTILATION REQUIREMENTS**
POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN ROOF SPACE, VENT-AXIA POZIDRY PRO PIV UNIT.
4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED.
10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION.
EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS) TO BE SEALED.
REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING.
MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE.
NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS. LO-CARBON POZIDRY COMPACT PRO, REF: 479188.
- EXTERNAL LANDSCAPE WORKS**
TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC.
INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS.
ANY FENCES TO BE REMOVED & REFIXED ONTOP OF EWI AS WELL AS ANY EXTERNAL FEATURES OR FIXTURES.



Aerial Location



SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:

IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING.

Significant Residual Risks:	
Action to be Taken:	Refer to Health and Safety Plan

NOTES

T02	19.12.23	Drawing specifications clarified following internal review	CH	SB
T01	30.10.23	Issued for Tender	SB	PT
P01	28.07.23	Initial Issue	WF	DS

REV	DATE	DESCRIPTION	BY	CHKD
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TENDER				
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w. www.mdyson.co.uk

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Vale of Glamorgan Council

PROJECT
**Pilot Retrofit Project to 26 Properties
Barry Island, South Wales**

TITLE:
**Cornwall Road, CF62 9AF
Proposed Block Elevations**

DRAWN BY:	TN	CHECKED BY:	DS
DATE:	16/05/22	DATE:	
SCALE (@ A1)	As indicated	ORIGINAL DRAWING SIZE	841 x 594 - A1
DRAWING No:	8957-MDA-21-CO-D-A-221	REV:	T02

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION:	
IN ADDITION TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING.	
Significant Residual Risks:	
Action to be Taken:	Refer to Health and Safety Plan

NOTES				
T02	19.12.23	Drawing specifications clarified following internal review	CH	SB
T01	30.10.23	Issued for Tender	SB	PT
P01	28.07.23	Initial Issue	WF	DS

REV	DATE	DESCRIPTION	BY	CHKD
TENDER				

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Vale of Glamorgan Council

PROJECT
**Pilot Retrofit Project to 26 Properties
 Barry Island, South Wales**

TITLE:
**Cornwall Road, CF62 9AF
 Proposed & Existing Site Plan**

DRAWN BY:	CH	CHECKED BY:	SB
DATE:	13/10/2023	DATE:	
SCALE (@ A1)	1 : 75	ORIGINAL DRAWING SIZE	841 x 594 - A1
DRAWING No:	8957-MDA-SI-CO-D-A-001	REV:	T02

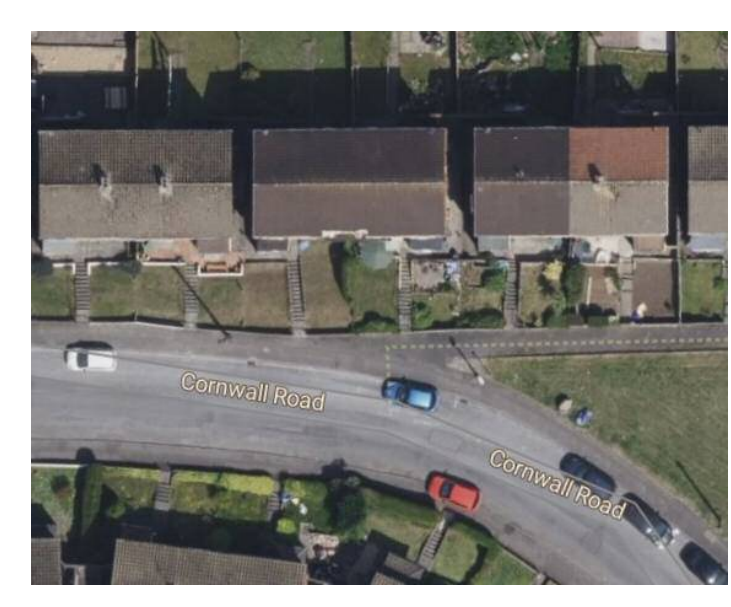


Proposed

Existing

CORNWALL ROAD

Proposed & Existing Site Plan
 1 : 75



Aerial Location

