

Meeting of:	Cabinet
Date of Meeting:	Thursday, 28 November 2024
Relevant Scrutiny Committee:	Homes and Safe Communities
Report Title:	Housing PAS2035 Retrofit Scheme 2024/25
Purpose of Report:	To advise Cabinet of a request to accept the most advantageous tender and execute the contract for the Housing PAS2035 Retrofit Scheme 2024/25
Report Owner:	Cabinet Member for Public Sector Housing and Tenant Engagement
Responsible Officer:	Miles Punter – Director of Environment and Housing Services
	Elected Members consulted – No individual ward Member consultation as the report outcomes affects various wards
Floated Monthey and	Committee Reports
Elected Member and Officer Consultation:	Rachel Williams - Housing Accountant
	Mike Ingram - Head of Housing and Building Services
	Andrew Treweek - Operational Manager
Policy Framework:	This is a matter for Executive decision by Cabinet

Executive Summary:

- Working with Micheal Dysons Associates Ltd. the Council's Housing Development and Investment Team has developed a pilot retrofit scheme, 'Housing PAS2035 Retrofit Scheme 2024/25', taking a whole house approach to decarbonising twenty-six (26) properties (including blocks of flats) within the Council's housing stock
- This report advises Cabinet of the tender process for the delivery of this work, with a decision on the acceptance of a tender for this work requested via a Part II report later on this agenda.

Recommendations

- 1. That Cabinet notes the contents of the report, with a view to taking a decision on the award of the contract detailed within the Part II report later on this agenda.
- 2. That use of the Council's urgent decision procedure, as set out at section 15.14 of the Council's constitution be agreed to enable the contract arrangements to be expedited.

Reasons for Recommendations

- **1.** To advise Cabinet of the Housing PAS2035 Retrofit Scheme 2024/25 and of the tender process for this work.
- 2. To ensure that a contract for the work can be executed in time for works to commence in January 2025, to permit Welsh Government grant timescales to be achieved.

1. Background

- **1.1** During the last few years, the Housing Development and Investment Team has been developing the knowledge and skills associated with the development and delivery of retrofit projects/schemes on a large scale in order to decarbonise the Council's housing stock by 31st March 2034, as required by the latest version of the Welsh Housing Quality Standard (WHQS) 2023.
- **1.2** To date the focus has been on completing a fabric first approach to ensure the Council's housing stock is energy efficient and ready for the installation of renewable technologies for heating and hot water.
- **1.3** Working with Micheal Dysons Associates Ltd. the team has developed a pilot retrofit scheme taking a whole house approach to decarbonising twenty-six (26) properties (including blocks of flats) within the Council's housing stock.
- 1.4 All retrofit projects/schemes must adhere to the requirements of PAS2035. This involves using individuals qualified as Retrofit Assessors, Retrofit Designers and Retrofit Co-ordinators. This expertise has been provided by Micheal Dysons Associates Ltd. to ensure the pilot scheme has been developed in line with the PAS2035 requirements. The scheme will be used as a learning exercise to better understand timescales whilst following PAS2035 stages, as well as the impact of installing and tenants using the latest renewable technologies.
- **1.5** Welsh Government has made grant funding available to support Social Landlords in developing programmes of work which support the journey towards carbon reduction in the housing stock. In the first stages this funding is aimed at improving understanding of low carbon technologies and to introduce such

technologies to the Council's tenants to support active engagement and discussion.

- **1.6** The Vale of Glamorgan Council was successful in securing approx. £871,000 of grant funding in support of this project and these works will ensure the grant funding may be claimed in accordance with the requirements of Welsh Government.
- **1.7** This report provides information about the Housing PAS2035 Retrofit Scheme 2024/25, with a report requesting the acceptance of a tender for this work to be considered at Part II later on this agenda.

2. Key Issues for Consideration

- 2.1 The Housing Development and Investment Team in conjunction with the Council's consultants, 'Michael Dysons Associates Ltd.' have identified a range of works, packaged for one main contractor to deliver under the Housing PAS2035 Retrofit Scheme 2024/25.
- 2.2 The project includes the following properties, Dudley Place, Barry (4#), Peterswell Road, Barry (16#), O'Donnell Road, Barry (4#) and Cornwall Road, Barry (2#).
- 2.3 The scheme has identified the following retrofit works to be completed to fully decarbonise the twenty-six (26) properties. There will be external works including the installation of new/extended roofs, integrated Solar PV panels, external wall insulation, new windows and doors, new pathways and associated works. Internally there will be renewable technologies such as Air Source Heat Pumps (ASHPs), Ground Source Heat Pumps (GSHPs), Heat Recovery Systems (HWWRs) in showers and baths, energy monitoring equipment and associated works. Appendix 1 refers.
- **2.4** There are no leaseholders associated with the works and therefore the Section 20 Leasehold tender process is not required.
- 2.5 The Housing Development & Investment Team along with Michael Dysons Associates Ltd. tendered the work through Sell2Wales. The 'Invitation to Tender' (ITT) sought a single principal contractor to deliver the JCT Intermediate contract. The successful contractor would be appointed following a two-stage assessment, with stage one being a Pre-Qualification Questionnaire (PQQ) and the second stage being awarded on 'Value for Money' (Price and Quality, including Social Value).

2.6 An invitation to tender was published on Sell2Wales on 5th April 2024 with a closing date of 13th May 2024. There were thirty-seven (37) expressions of interest with four (4) tender bids received.

When checking all the key tender return documents that had been submitted, the one bidder had submitted the same tender bid twice leaving 3 submitted tender bids passing.

- **2.7** The three contractors' submissions passed the prequalification questionnaire process scoring above 87. The three contractor's bids were then assessed on stage two of the process, where scores were based on 50% for price and 50% for quality (including 10% Social Value).
- **2.8** Details of the Housing PAS2035 Retrofit Scheme 2024/25 tender outcomes is set out in the Part II report later on this agenda.

3. How do proposals evidence the Five Ways of Working and contribute to our Well-being Objectives?

- **3.1** Looking to the long term As a result of the Housing PAS2035 Retrofit Scheme 2024/25, compliance with the Welsh Housing Quality Standard 2023 will be achieved, along with ensuring the block and properties receiving the retrofit installations are more energy efficient, therefore reducing the carbon footprint and reducing energy costs for the Council's tenants/contract holders for future years.
- **3.2** Taking an integrated approach The development and procurement of the Housing PAS2035 Retrofit Scheme 2024/25 was undertaken via consultation with the Tenants Quality Design Forum (QDF) and tenants/Contract holders linked to the works.
- **3.3** Involving the population in decisions The Tenants Quality Design Forum (QDF) members and tenants/Contract Holders involved have been kept abreast of the developments of the contract along with decision making for elements of these improvement works e.g. Tenant received a choice in relation to the finished appearance of the block or individual properties.
- **3.4** Working in a collaborative way The Housing Development and Investment Team has worked closely with Michael Dysons Associates Ltd. experts in the field of work, in order to develop the scheme.
- **3.5** Understanding the root causes of issues and preventing them As a result of contracting a competent principal contractor and sub-contractors to undertake the delivery of the Housing PAS2035 Retrofit Scheme 2024/25, we will ensure the Council's residents reside in safe, accessible, energy efficient, and compliant homes.

3.6 This proposal will meet:

Objective 1: TO WORK WITH AND FOR OUR COMMUNITIES **Corporate Plan Commitment:** 2. Work innovatively, using technology, resources and the Council's assets to transform services so they are sustainable for the future.

4. Climate Change and Nature Implications

- **4.1** This scheme will have a positive impact by improving the energy efficiency of the twenty-six (26) pilot properties identified for retrofit measures, therefore assisting in reducing carbon emissions.
- **4.2** The scheme is estimated to improve the twenty-six (26) properties from an average EPC rating of D to an average EPC rating of A, with an estimated carbon reduction figure of 81,229 CO²kg/yr.
- **4.3** Any reduction in the emissions from fossil fuels could have a positive impact on the environment.

5. Resources and Legal Considerations

Financial

5.1 Full financial details will be addressed in the Part II Report included on the agenda.

Employment

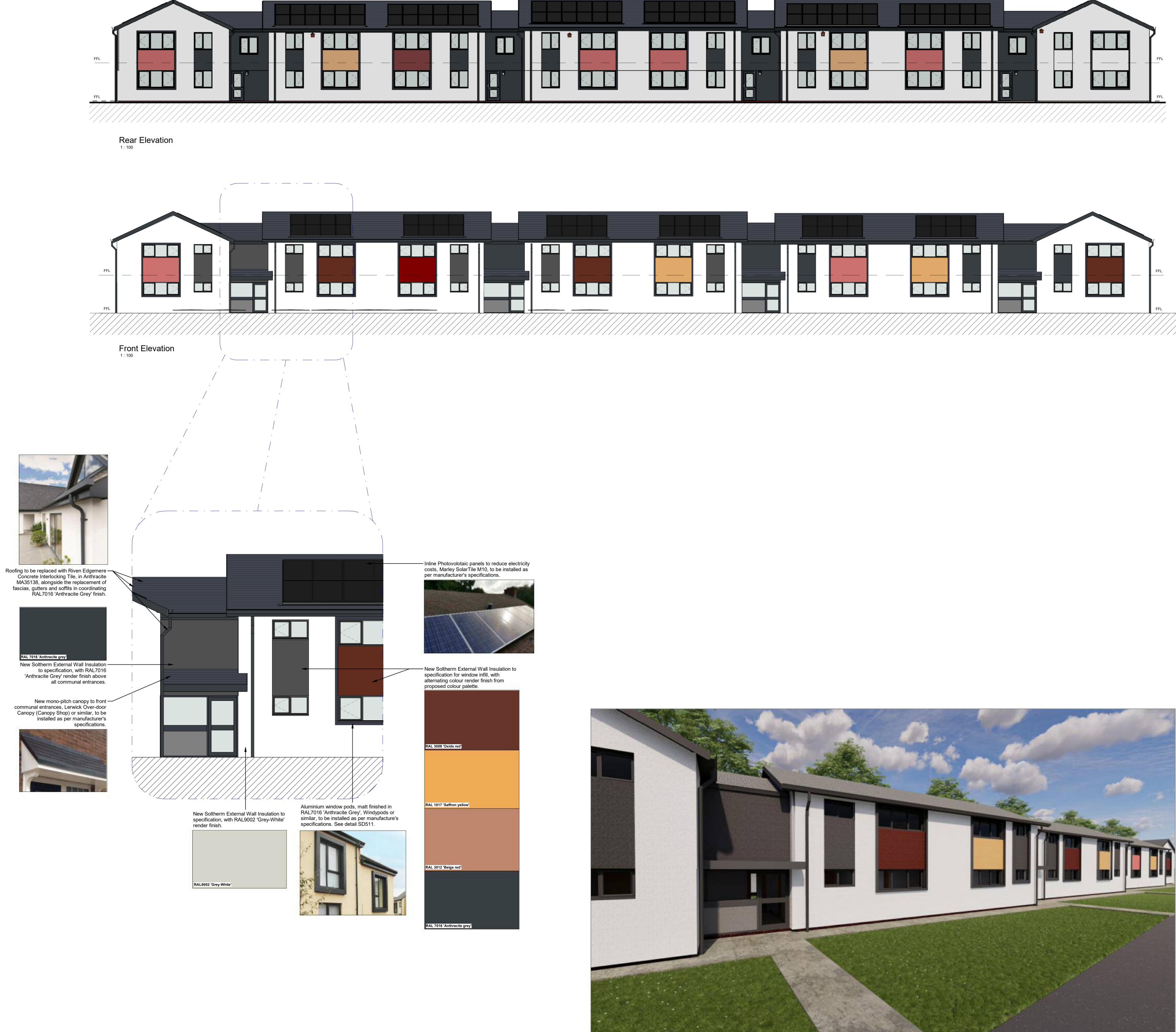
5.2 There are no other resource issues to report.

Legal (Including Equalities)

- **5.3** The contract will ensure the council complies with its legal obligations under Section 3(1) Health and Safety at Work Act etc. PAS2035 for Retrofit Schemes and Building Regulations.
- **5.4** In terms of equalities, there will be training opportunities offered as part of the Housing PAS2035 Retrofit Scheme 2024/25.

6. Background Papers

None.



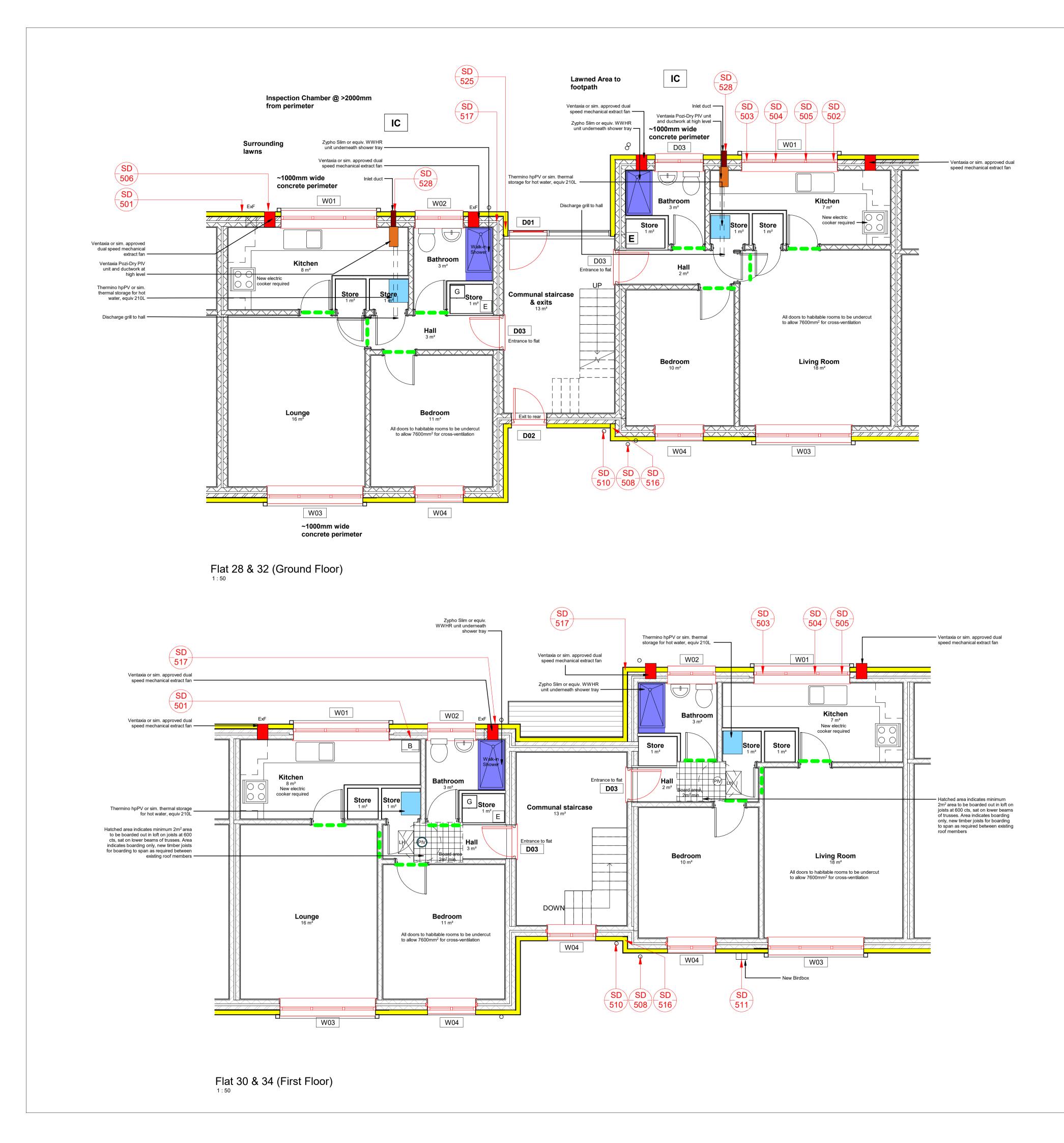


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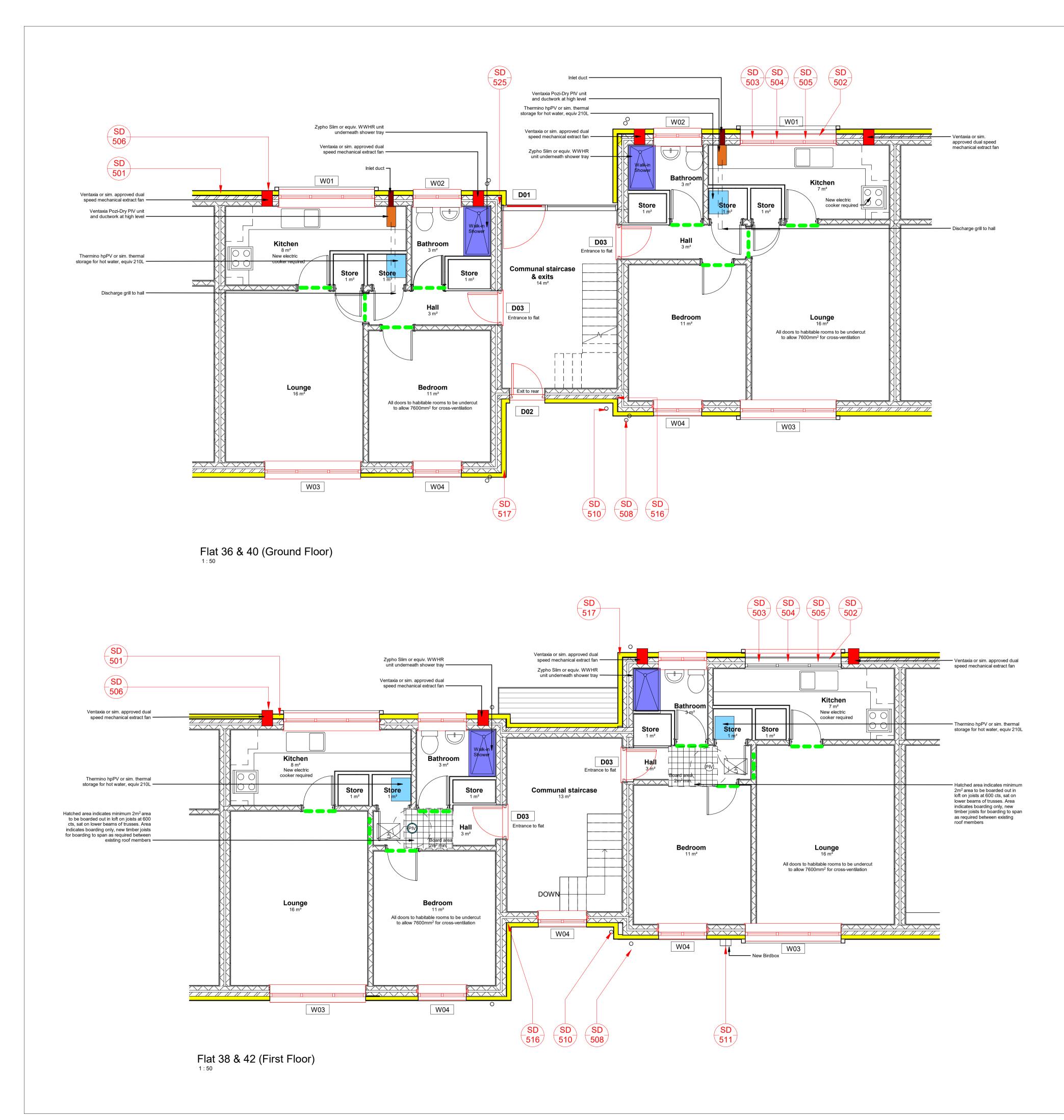
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ETWEEN COMPARTMENT WALLS &	SpD	- Special Detai	I		
/E A MINIMUM U-VALUE OF 0.11.					
	LEGENI	D - Proposed E	nergy Measure	es:	
RE CONCRETE INTERLOCKING OLARTILE M10 PHOTOVOLTAIC			/fan Centrifuga		ام
NTILATION.		extractor		meenanii	Jai
HIEVE OVERHANG. ON LOCATED IN LOFT SPACE OF		Zypho Sli	m Waste Wate	er Heat	
EEN NOTED IN THE HISTORIC E WITHOUT A PHYSICAL SURVEY			device undern		
RESENT THROUGHOUT THE				.	
			EWI Ultimate S Brick-ID applied		g
ETAIL SD528. NSTALLED, WITH BORE HOLE 200m		wall surfa	ces, with Solth System below	erm Deco	-
			2		
			oiler & flue ren hpPV thermal		
HIN LOFT SPACE, NUAIRE DRI-		hot water	installed, equiv		
IERE WINDOWS ARE BEING			water cylinder.		
600mm ² FOR CROSS-			al doors to habi be undercut to		
BATHROOMS/UTILITY ROOMS) TO			² for cross-vent		
ACE WITH BRICKWORK TO MATCH	T03 22.01.	24 New birdbox with strategy updated	fixing detail added. Ve to Nuaire specification.		S
RATE. WITH DECENTRALISED		23 Drawing specifica internal review	tions clarified following	SB	P
ENTRIFUGAL EXTRACT FAN.	P02 01.09.	.23 Issued for Tender.23 Drawing resheete.23 Initial Issue		SB DS WF	P P D
TIOS, ACCESS, BOUNDARY	P01 28.07.	23 Initial Issue	ESCRIPTION	WF BY	СН
WITH STEPS & GUARD RAILS AT				DY	
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BE FIXED TO EWI ACCORDING TO	Do not scale	from this drawing. ns must be checked o	on site by the contracto	or prior to the	
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	PROJECT				
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		28/07/22		AL DRAWING	SIZF
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	DRAWING No:	8957-MDA-21	-PW-D-A-123	R	ev. T





SCOPE OF WORKS:

EWI SPECIFICATION SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.

2. STRUCTURAL WORKS

CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.

SPECIFICATION OF NEW WINDOWS

REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT.



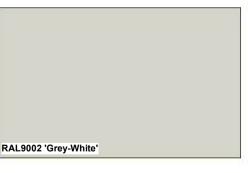
Aerial Location

WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONARY, WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.



Rear Elevation 1:50

specification, with RAL9002 'Grey-White' render finish.





Perspective View - For Presentation Purposes Only

4. SPECIFICATION OF NEW DOORS

DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING.

DOORS TO BE PAS 24 COMPLIANT.

5. FIRE PROTECTION MEASURES

INJECTACLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.

6. ROOF SPECIFICATION

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TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS.

FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.

7. HEATING SYSTEM

EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200m DEEP.

8. **VENTILATION REQUIREMENTS**

POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN ROOF SPACE, VENT-AXIA POZIDRY PRO PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED.

10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION .

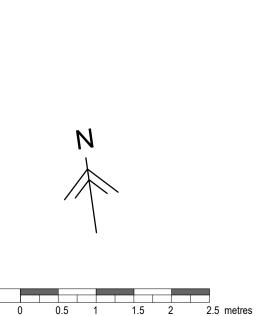
EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING. MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE.

NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS. LO-CARBON POZIDRY COMPACT PRO, REF: 479188.

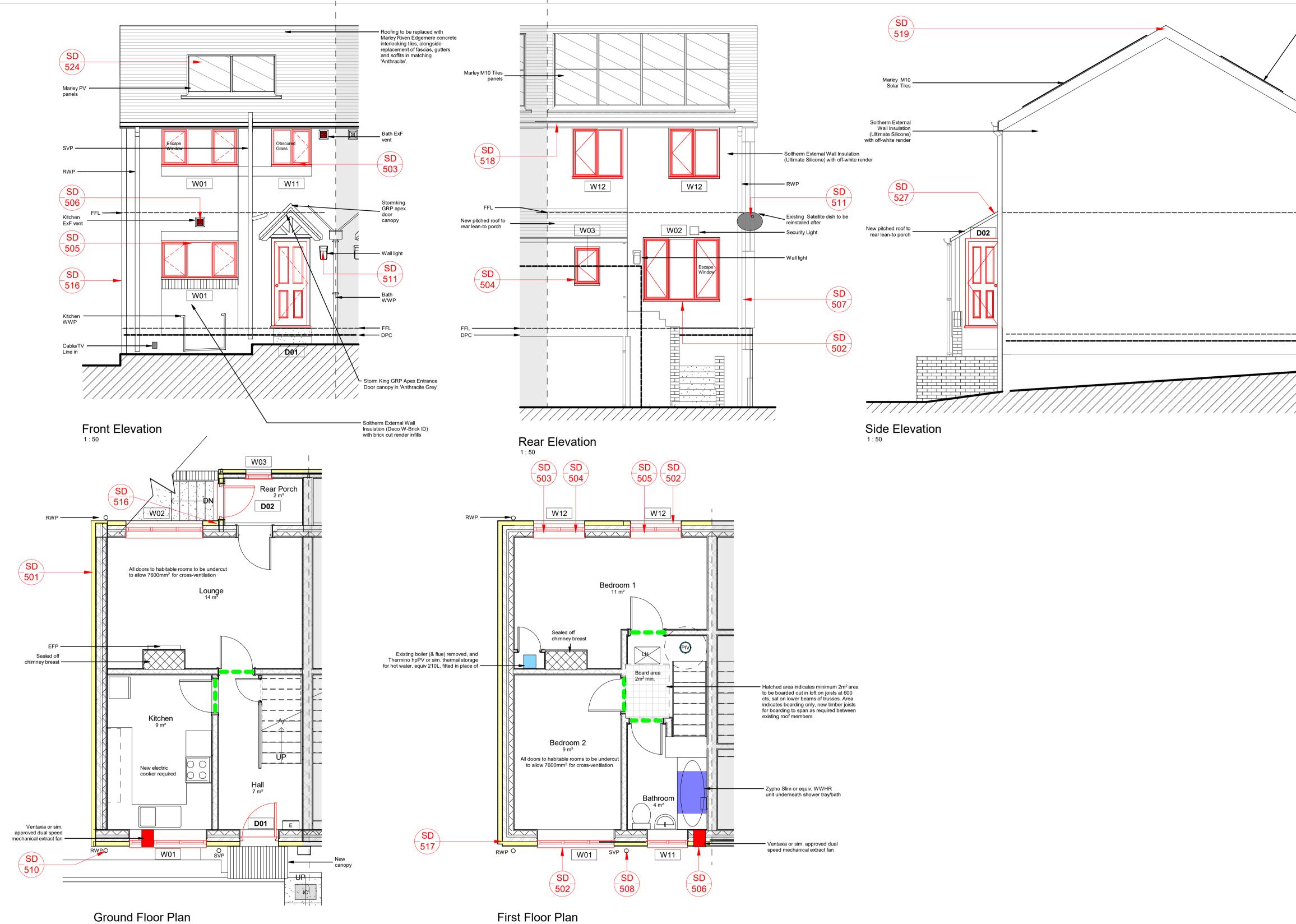
9. EXTERNAL LANDSCAPE WORKS TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY

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		/ RISKS NORMALLY ASSOCI	
		DRAWING, NOTE THE FOLLO	WING;
Significant Resid	ual Risks:		
Action to be Take	in: Refer	to Health and Safety Plan	
KEY:			
B DPC	- Boiler	Proof Course	
E	- Electric		
EFP EWI		c Fire Place al Wall Insulation	
ExF	- Extract		
FFL IC		ed Floor Level tion Chamber	
LH	- Loft Ha		
PIV RWP	- Positivo - Rainwa	e Input Vent	
SVP		entilation Pipe	
WWP	- Waste	Water Pipe	
SD	- Standard De	etail	
	- Special Deta	ail	
SpD			
LEGEN) - Proposed	Energy Measures:	:
		a or similar approv nechanical extracto	
	Zypho S	lim Waste Water I	Heat
	Recover	y device undernea tray/bath.	
		n EWI Ultimate Sil	
		Brick-ID applied to aces, with Solther	
		c System below D	
	Existina	boiler & flue remo	ved and
	Thermin	o hpPV thermal st	orage for
		er installed, equiva t water cylinder.	
	All interr	al doors to habita	blo
		be undercut to al	
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	lin	Michael	Dveon
		associates	
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		6888 f. 01484 664	
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1:50



1 : 50



Aerial Location

1 : 50

SCOPE OF WORKS:

EWI SPECIFICATION SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.

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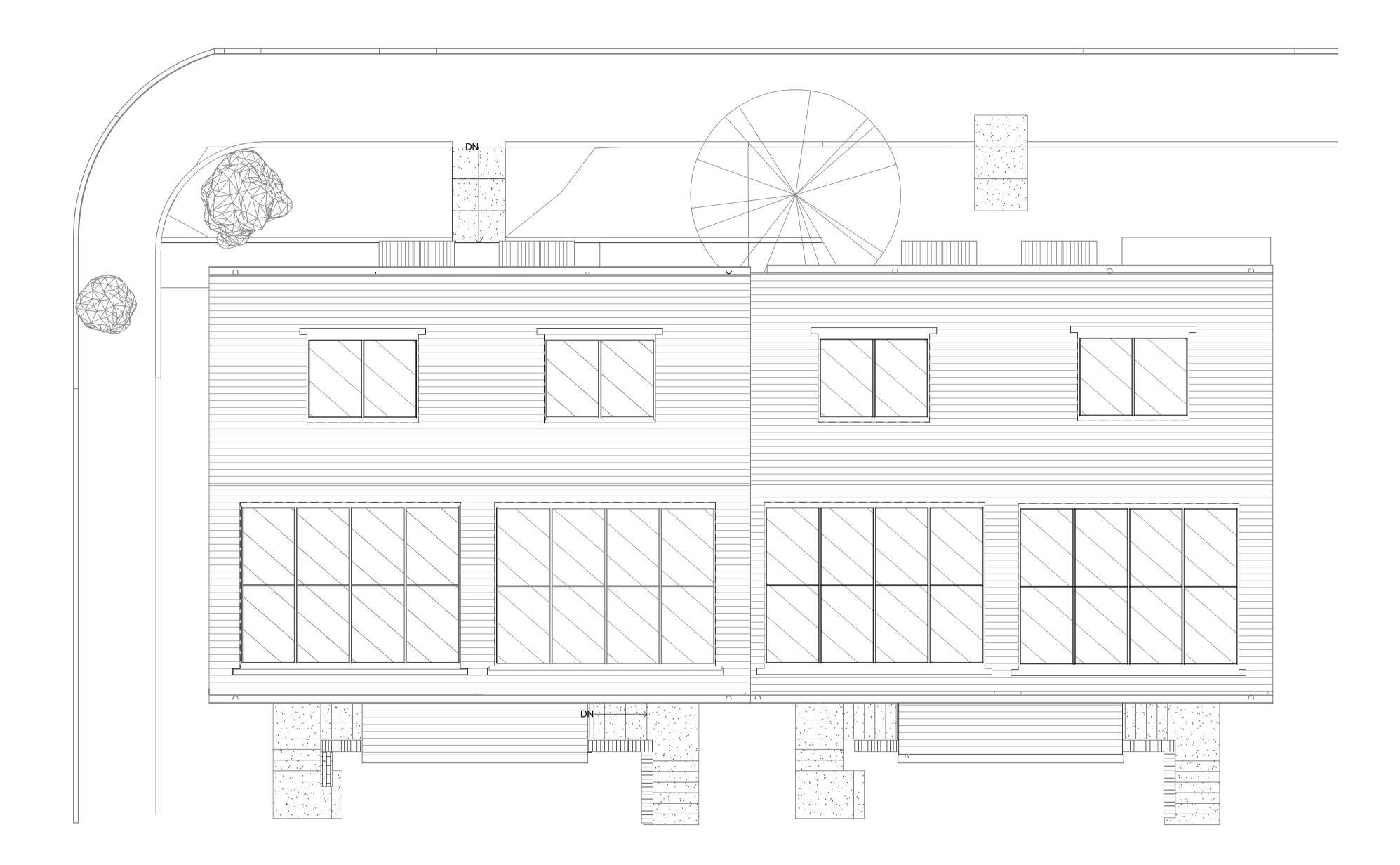
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7. HEATING SYSTEM

EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200m DEEP.

1:50

		SAFETY, HE	ALTH AND ENVIRONM		FION:
/	- Marley M10 Solar Tiles		TO THE HAZARDS / RISKS TAILED ON THIS DRAWING		
/	- New Marley Riven Edgemere concrete	Significant Residual I			
	interlocking tiles.				
/	Roof to be extended where necessary to - achieve overhang after EWI installation, soffit	Action to be Taken:	Refer to Heal	Ith and Safety Plan	
	line to be retained.				
	509				
		NOTES			
	- RWP	KEY:			
		B DPC	- Boiler - Damp Proof	Course	
	- FFL	E EFP	- Electric Mete	er	
	Storm King GRP Apex Entrance Door canopy in	EWI ExF	- External Wa - Extractor Fa	all Insulation	
	'Anthracite Grey'	FFL	- Finished Flo	or Level	
	SD	LH PIV	- Loft Hatch		
2	517	RWP	- Positive Inpu - Rainwater P	Pipe	
		SVP WWP	- Soil Ventilat - Waste Wate		
8		SD - S	Standard Detail		
	- FFL - DPC		Special Detail		
	SD 515	(SpD) - C			
	010				
		LEGEND -	- Proposed Energ	gy Measures:	
			Ventaxia or si speed mecha		
			Zypho Slim W Recovery dev shower tray/b	/ice undernea	
			Soltherm EW Deco W Brick wall surfaces, X Mosaic Sys	k-ID applied to , with Solther	o existing m Deco
			Existing boile Thermino hpf hot water inst 210L hot wate	⊃V thermal st alled, equiva	orage for
			All internal do rooms to be ι 7600mm² for	undercut to al	low
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Site Plan

O'DONNELL ROAD



Aerial Location

1:50 0.5 1 1.5 2 2.5 metres

	N TO THE HAZARDS / RISKS NORMALLY ASSOCIATED WITH THE TYPE DETAILED ON THIS DRAWING, NOTE THE FOLLOWING;
Significant Residu	
Action to be Take	n: Refer to Health and Safety Plan
AUTON TO DE TAKE	
NOTES	
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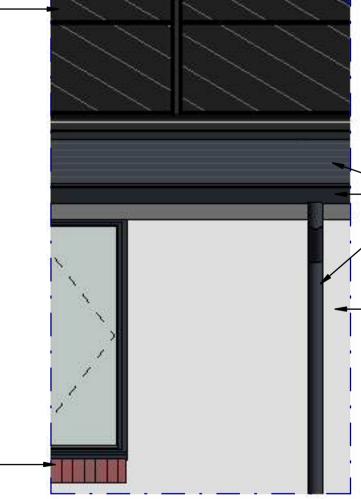




Elevation (Rear) 1 : 50







New Soltherm External Wall -Insulation (Deco W-Brick ID) with brick cut render infills

SCOPE OF WORKS:

1. EWI SPECIFICATION



Aerial Location

SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.

2. STRUCTURAL WORKS

CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.

3. SPECIFICATION OF NEW WINDOWS

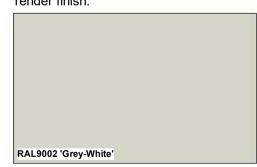
REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT.

WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONARY, WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.



Roofing to be replaced with Riven Edgemere Concrete Interlocking Tile, in Anthracite MA35138, alongside the replacement of fascias, gutters and soffits in coordinating RAL7016 'Anthracite Grey' finish.

- New Soltherm External Wall Insulation to specification, with RAL9002 'Grey-White' render finish.



4. SPECIFICATION OF NEW DOORS

DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING. DOORS TO BE PAS 24 COMPLIANT.

5. FIRE PROTECTION MEASURES INJECTACLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.

6. ROOF SPECIFICATION

ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

ROOF TO BE RETILED WITH MARLEY RIVEN EDGEMERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS. FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION.

ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.

7. HEATING SYSTEM

DEEP.

EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200m



3D Perspective View (NW) - For Presentation Purpose Only

8. VENTILATION REQUIREMENTS

POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN ROOF SPACE, VENT-AXIA POZIDRY PRO PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED.

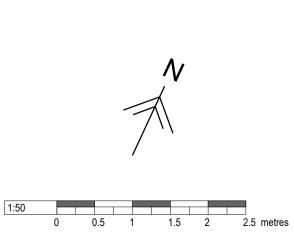
10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION

EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING.

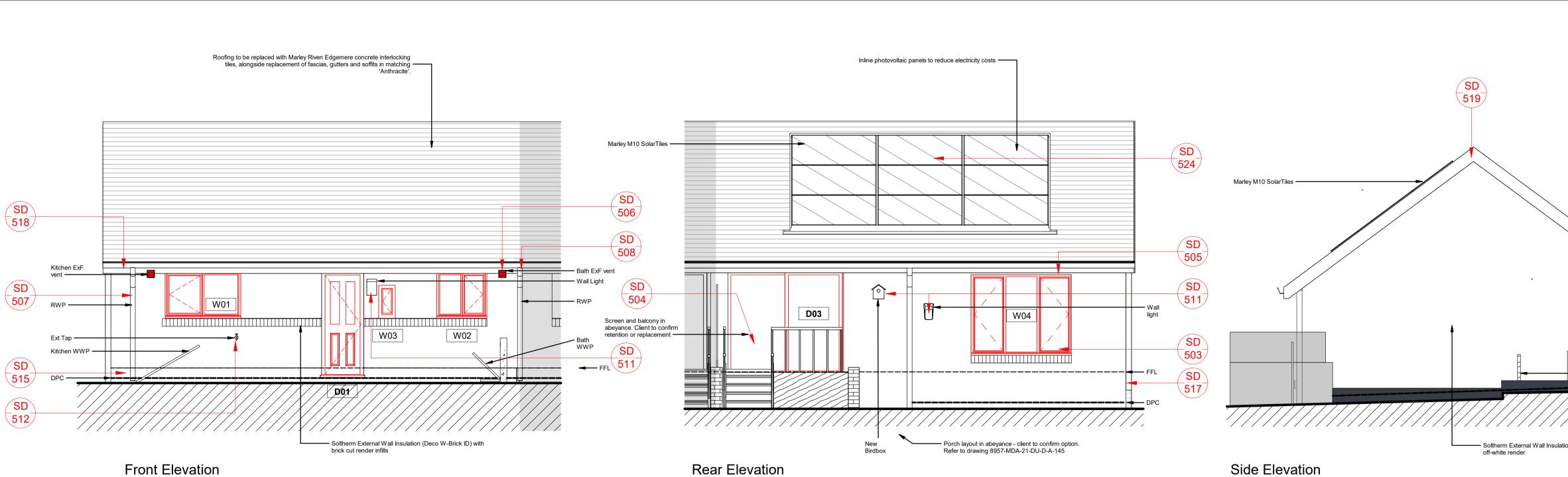
MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE. NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS. LO-CARBON POZIDRY COMPACT PRO, REF: 479188.

9. EXTERNAL LANDSCAPE WORKS TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY

TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS. ANY FENCES TO BE REMOVED & REFIXED ONTOP OF EWI AS WELL AS ANY EXTERNAL FEATURES OR FIXTURES.

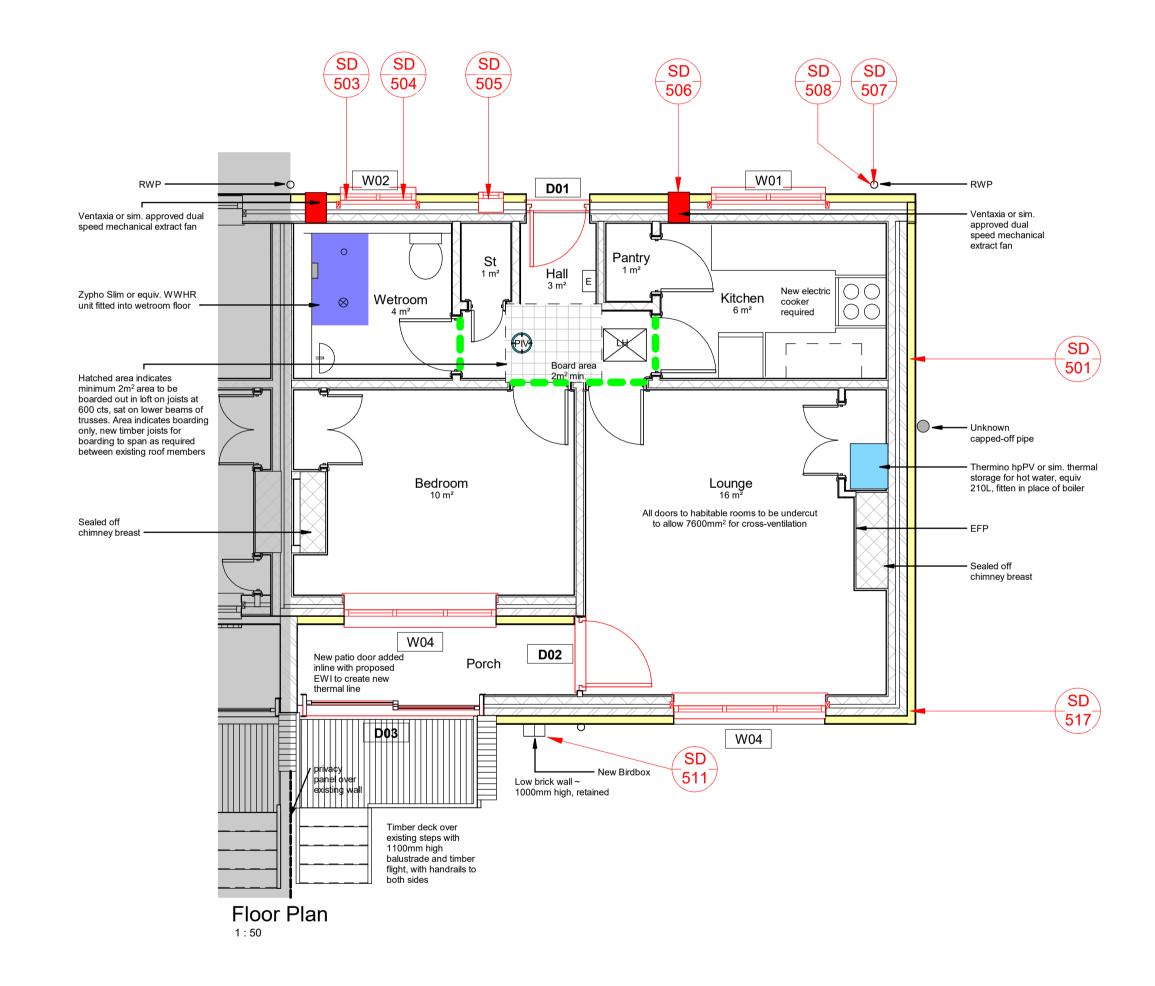


SAFETY,	HEALTH AND ENVIRON	IENTAL INFORM	IATION:		
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Action to be Take	en: Refer to Hea	Ith and Safety PI	an		
NOTES					
NOTES KEY:					
В	- Boiler				
DPC	- Damp Proo				
E EFP	- Electric Me - Electric Fire				
EWI ExF	- External Wa - Extractor Fa		٦		
FFL	- Finished Flo	oor Level			
IC LH	- Inspection (- Loft Hatch	Chamber			
PIV RWP	- Positive Inp - Rainwater I				
SVP	- Soil Ventila	tion Pipe			
WWP	- Waste Wat	er Pipe			
	- Standard Detail				
SpD	- Special Detail				
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LEGEN	D - Proposed Ener	gy Measure	es:		
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Front Elevation 1:50

1 : 50



SCOPE OF WORKS:

EWI SPECIFICATION

SOLTHERM ULTIMATE SILICONE / DECO W BRICK-ID EXTERNAL WALL INSULATION WITH A U-VALUE OF 0.3 TO BE INSTALLED TO THE EXTERNAL ENVELOPE TO IMPROVE AIR TIGHTNESS WITH A U-VALUE OF 5.0 AND THERMAL PERFORMANCE (BASED ON RENDER FINISH WITH ELEMENTS OF DETAILING). SOLTHERM DECO X MOSAIC WITH 80mm XPS INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.

2. STRUCTURAL WORKS

CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.

3. SPECIFICATION OF NEW WINDOWS

REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT.



Aerial Location

WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONARY, WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.

4. SPECIFICATION OF NEW DOORS

DOORS TO BE REPLACED WITH COMPOSITE ENERGY-EFFICIENT DOORS - U-VALUE OF 1.1 OR BETTER. DOORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. LEVEL ACCESS TO BE MAINTAINED, IF EXISTING.

DOORS TO BE PAS 24 COMPLIANT.

5. FIRE PROTECTION MEASURES INJECTACLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.

6. ROOF SPECIFICATION

ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

ROOF TO BE RETILED WITH MARLEY RIVEN EDGEMERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS.

FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.

7. HEATING SYSTEM

EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200m DEEP.

8. VENTILATION REQUIREMENTS

1 : 50

POSITIVE INPUT VENTILATION TO BE INSTALLED WITHIN LOFT SPACE, NUAIRE DRI-ECO-HC PIV UNIT. 4000mm² TRICKLE VENTS TO HABITABLE ROOMS, WHERE WINDOWS ARE BEING REPLACED.

10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-VENTILATION .

EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS/UTILITY ROOMS) TO BE SEALED. REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING.

MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE. NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS, NUAIRE CYFAN CENTRIFUGAL EXTRACT FAN.

9. EXTERNAL LANDSCAPE WORKS

TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS. ANY EXISTING FENCES, EXTERNAL FEATURES OR FIXTURES TO BE REMOVED &

REFIXED TO EWI ACCORDING TO DETAIL SD 511. NEW BIRDBOX, NESTBOX COMPANY OR SIMILAR, TO BE FIXED TO EWI ACCORDING TO DETAIL SD 511.

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B DPC		Proof Course			
E EFP	- Electric - Electric	Meter Fire Place			
EWI ExF	- Externa - Extracto	I Wall Insulation			
FFL	- Finishe	d Floor Level			
IC LH	- Loft Ha				
PIV RWP	- Positive - Rainwa	e Input Vent ter Pipe			
SVP WWP	- Soil Ve	ntilation Pipe Water Pipe			
SD	- Standard De	tail			
(SpD)	- Special Deta	il			
···					
) D ''		o.		
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	Nuaire C extractor	yfan Centrifugal fan.	mecha	nical	
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CHIMNEYS TO BE REMOVED & FLUES TO BE SEALED. STRUCTURAL REMEDIAL WORK WHERE NECESSARY. IF BLOWN INSULATION, IF PRESENT, TO BE REMOVED.

INSULATION BOARD TO BE INSTALLED MINIMUM 150mm BELOW DPC.

3. SPECIFICATION OF NEW WINDOWS

REMOVAL OF OLD WINDOWS AND INSTALLATION OF DOUBLE-GLAZED WINDOWS: ALL OLD WINDOWS TO BE REMOVED AND DISPOSED OF IN A RESPONSIBLE MANNER. NEW DOUBLE-GLAZED WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH A U-VALUE OF 1.0 OR BETTER. SAFETY GLAZING TO BE INSTALLED TO ALL WINDOWS BELOW 800mm. WINDOW BOARD SPECIFICATION TO BE CONFIRMED. GROUND FLOOR ARRANGEMENT TO MATCH EXISTING WINDOWS. FIRST FLOOR ARRANGEMENT AS PER ELEVATIONS. WINDOWS TO BE PAS 24 COMPLIANT.



Aerial Location

WINDOWS THAT ARE BEING REPLACED ARE BEING LOCATED IN LINE WITH EXISTING FACE OF MASONARY, WINDOW BOARDS/CILLS ARE TO BE REPLACED WITH A NEW MDF BOARD AND STANDARD FINISH TO WINDOW REVEAL EXTENDED TO BACK OF WINDOW. NEW WINDOW CILLS TO ACHIEVE MINIMUM OVERHANG OF 40mm.

INSTRUCTIONS.

LEVEL ACCESS TO BE MAINTAINED, IF EXISTING. DOORS TO BE PAS 24 COMPLIANT.

5. FIRE PROTECTION MEASURES INJECTACLAD FIRE BARRIERS TO BE INTRODUCED BETWEEN COMPARTMENT WALLS & FLOORS.

6. ROOF SPECIFICATION

ROOF TO RECEIVE 450mm OF INSULATION TO ACHIEVE A MINIMUM U-VALUE OF 0.11. ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

ROOF TO BE RETILED WITH MARLEY RIVEN EDGEMERE CONCRETE INTERLOCKING TILES, INCLUDING THE INTRODUCTION OF MARLEY SOLARTILE M10 PHOTOVOLTAIC 405WP PANELS.

FELT LAP VENTS TO BE INSTALLED TO INCREASE VENTILATION. ROOF TO BE EXTENDED WHERE NECESSARY TO ACHIEVE OVERHANG.

7. HEATING SYSTEM

EXISTING BOILER AND FLUE TO BE REMOVED, SEE DETAIL SD528. NEW GROUND SOURCE HEAT PUMP SYSTEM TO BE INSTALLED, WITH BORE HOLE 200m DEEP.

8. VENTILATION REQUIREMENTS

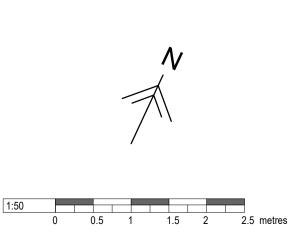
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- REPLACED. 10mm UNDERCUT TO INTERNAL DOORS TO ALLOW 7600mm² FOR CROSS-
- VENTILATION . EXISTING TRICKLE VENTS IN WETROOMS (KITCHEN/BATHROOMS) TO BE SEALED.
- REMOVE EXISTING PASSIVE WALL VENTS AND REPLACE WITH BRICKWORK TO MATCH EXISTING. MAKE GOOD INTERNAL PLASTER FINISH AND DECORATE.

NEW BACKGROUND VENTILATION AND EXTRACTION WITH DECENTRALISED MECHANICAL EXTRACTION VENTS. LO-CARBON POZIDRY COMPACT PRO, REF: 479188.

9. EXTERNAL LANDSCAPE WORKS TO INCLUDE CONSIDERATION OF BIN STORAGE, PATIOS, ACCESS, BOUNDARY TREATMENT, ETC. INTERNAL PORCH TO BE ENCLOSED, NEW DECKING WITH STEPS & GUARD RAILS AT REAR FOR ACCESS.

ANY FENCES TO BE REMOVED & REFIXED ONTOP OF EWI AS WELL AS ANY EXTERNAL FEATURES OR FIXTURES.



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Proposed

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