

Produced 14.01.2011 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. © Crown Copyright 2011.

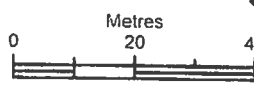
Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey.

Ordnance Survey, the OS Symbol and OS Sitemap are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain.

The representation of a road, track or path is no evidence of a right of way.

The representation of features as lines is no evidence of a property boundary.

Part or all of this OS Sitemap is enlarged from mapping produced at one or more of the following scales: 1:1250, 1:2500, 1:10000.



Scale 1:1250

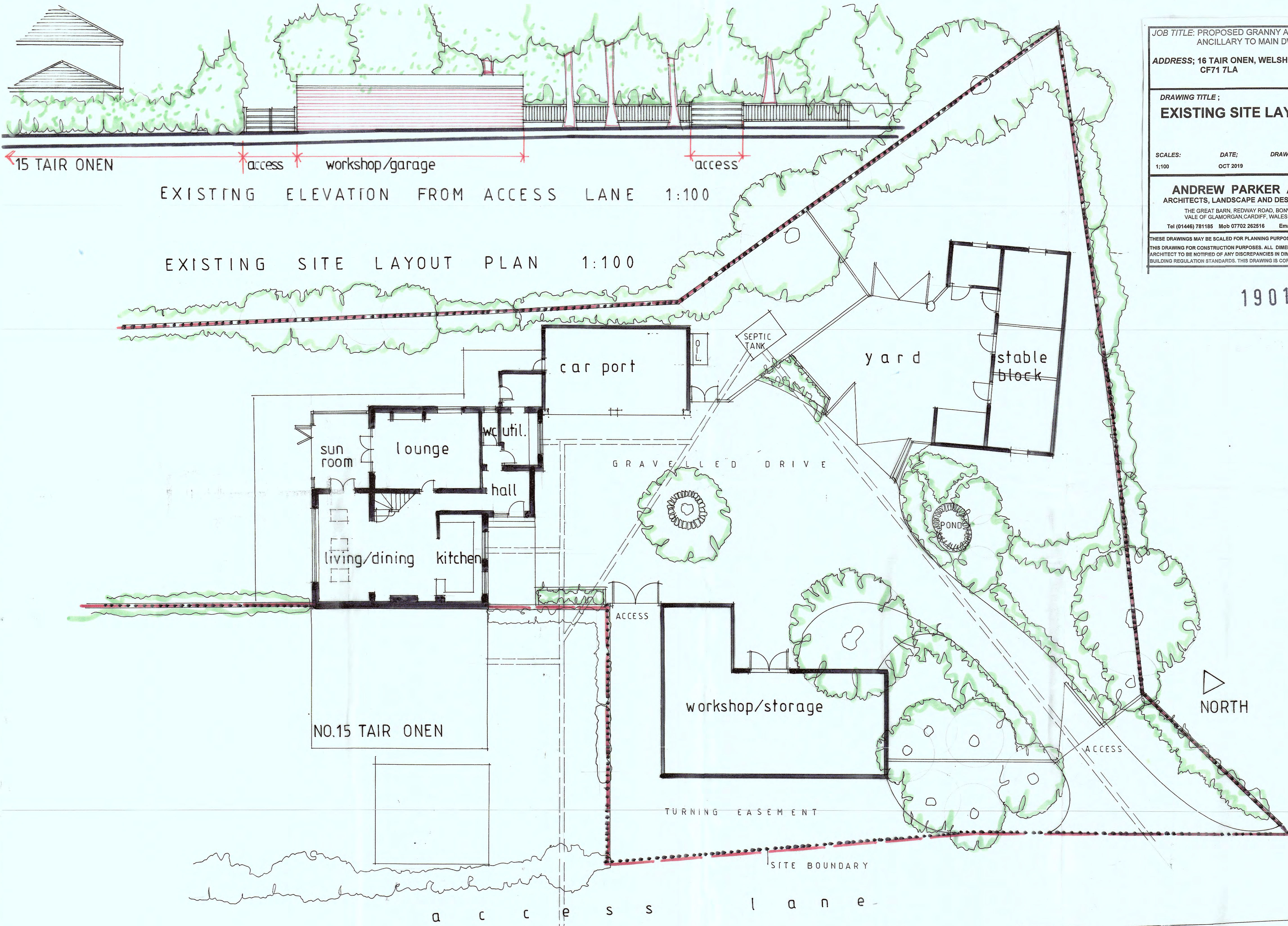
Supplied by **Blackwell M and D C**
 Serial number: 00740100
 Centre coordinates: 303836.75 174223

Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:
www.ordnancesurvey.co.uk

1901194 FUL

**16 TAIRONEN,
 COWBRIDGE**

Scale 1:1250



← 15 TAIR ONEN

access workshop/garage

access

EXISTING ELEVATION FROM ACCESS LANE 1:100

EXISTING SITE LAYOUT PLAN 1:100

car port

yard

stable block

sun room

lounge

wc util.

hall

living/dining

kitchen

GRAVELLED DRIVE

SEPTIC TANK

POND

ACCESS

workshop/storage

NORTH

NO.15 TAIR ONEN

TURNING EASEMENT

SITE BOUNDARY

a c c e s s l a n e

JOB TITLE: PROPOSED GRANNY ANNEXE
ANCILLARY TO MAIN DWELLING

ADDRESS: 16 TAIR ONEN, WELSH ST. DONATS
CF71 7LA

DRAWING TITLE:
EXISTING SITE LAYOUT PLAN

SCALES: 1:100 DATE: OCT 2019 DRAWING NO 729/P/01

ANDREW PARKER ASSOCIATES
ARCHITECTS, LANDSCAPE AND DESIGN CONSULTANTS

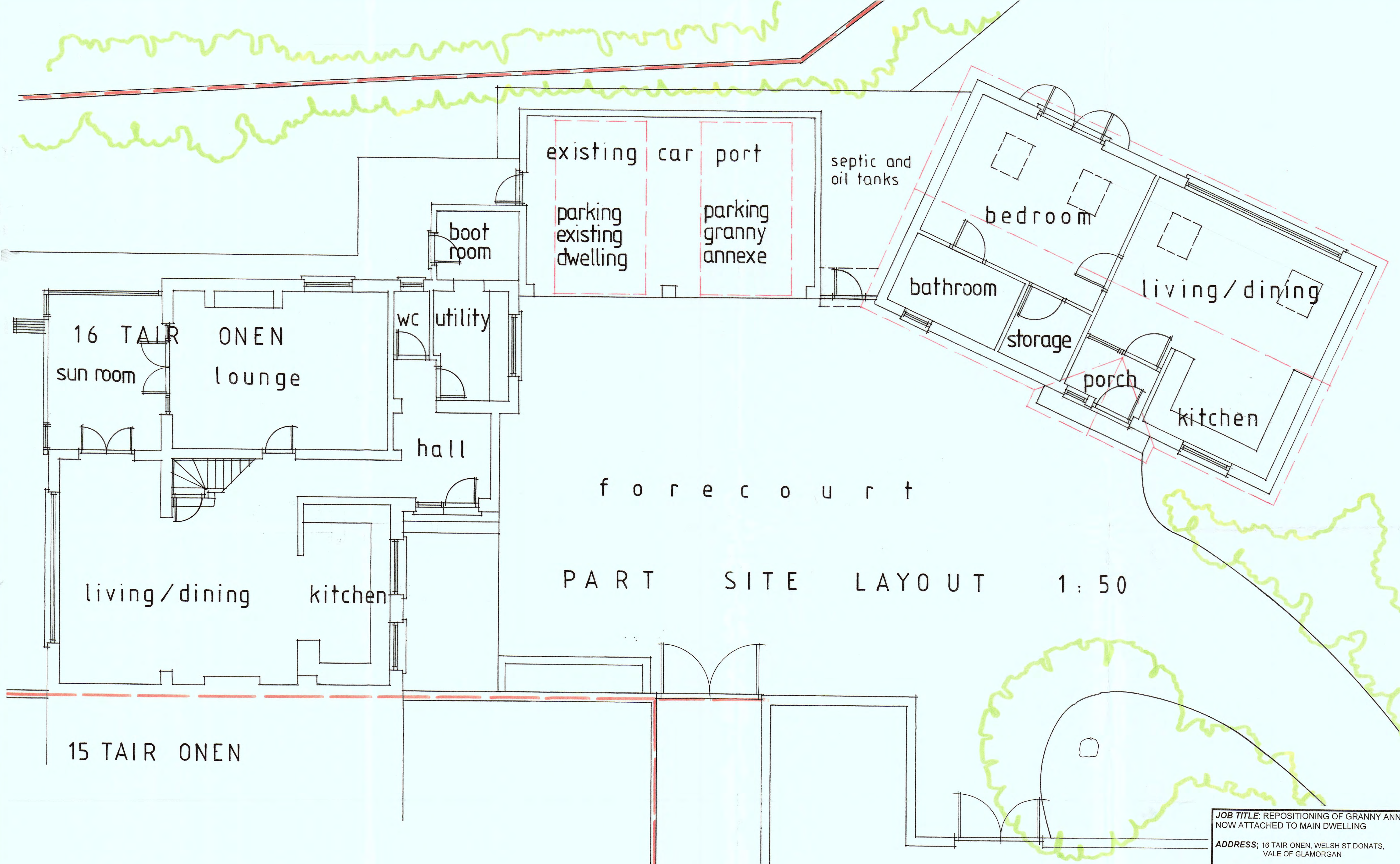
THE GREAT BARN, REDWAY ROAD, BONVILSTON,
VALE OF GLAMORGAN, CARDIFF, WALES CF5 6TR

Tel (01446) 781185 Mob 07702 262516 Email: andrew@greatbarn.com

THESE DRAWINGS MAY BE SCALED FOR PLANNING PURPOSES ONLY DO NOT SCALE FROM THIS DRAWING FOR CONSTRUCTION PURPOSES. ALL DIMENSIONS TO BE CHECKED ON SITE ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS ALL WORK TO CURRENT BUILDING REGULATION STANDARDS. THIS DRAWING IS COPYRIGHT

1901194 FUL

RECEIVED
31.08.2019
Regeneration
and Planning



f o r e c o u r t

P A R T S I T E L A Y O U T 1 : 5 0

2019/01194/FUL

JOB TITLE: REPOSITIONING OF GRANNY ANNEXE NOW ATTACHED TO MAIN DWELLING

ADDRESS: 16 TAIR ONEN, WELSH ST. DONATS, VALE OF GLAMORGAN

DRAWING TITLE ;
PROPOSED PLAN

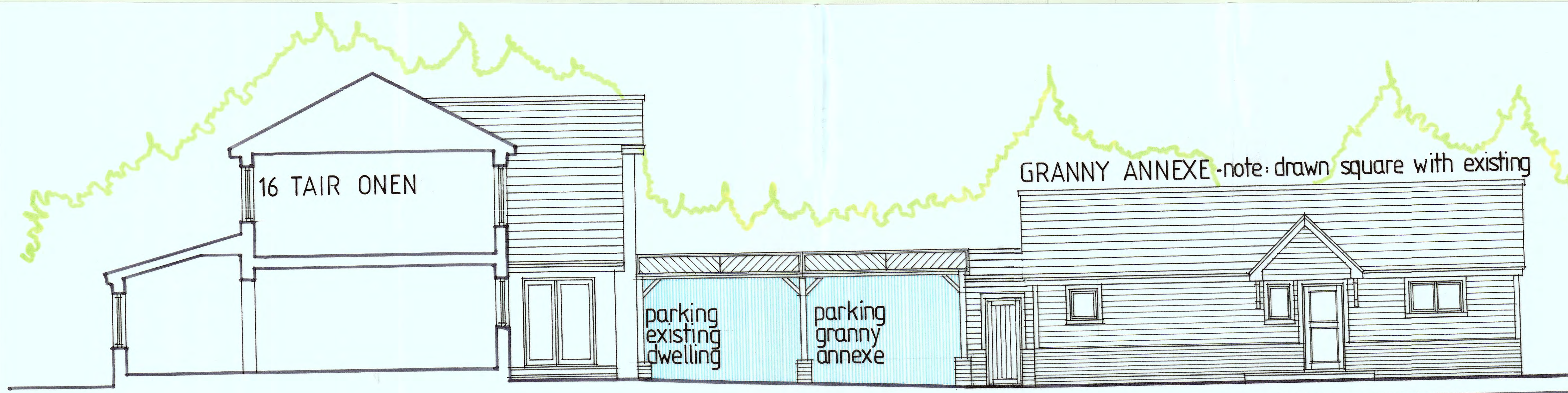
SCALES: 1:50 **DATE:** aug 2020 **DRAWING NO** 729/P/70

ANDREW PARKER ASSOCIATES
ARCHITECTS, LANDSCAPE AND DESIGN CONSULTANTS
THE GREAT BARN, REDWAY ROAD, BONVILSTON, VALE OF GLAMORGAN, CARDIFF, WALES CF5 6TR
Tel (01446) 781185 Mob 07702 262516 Email: andrew@greatbarn.com

THESE DRAWINGS MAY BE SCALED FOR PLANNING PURPOSES ONLY DO NOT SCALE FROM THIS DRAWING FOR CONSTRUCTION PURPOSES. ALL DIMENSIONS TO BE CHECKED ON SITE ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS ALL WORK TO CURRENT BUILDING REGULATION STANDARDS. THIS DRAWING IS COPYRIGHT



6-A2 11-6 755m

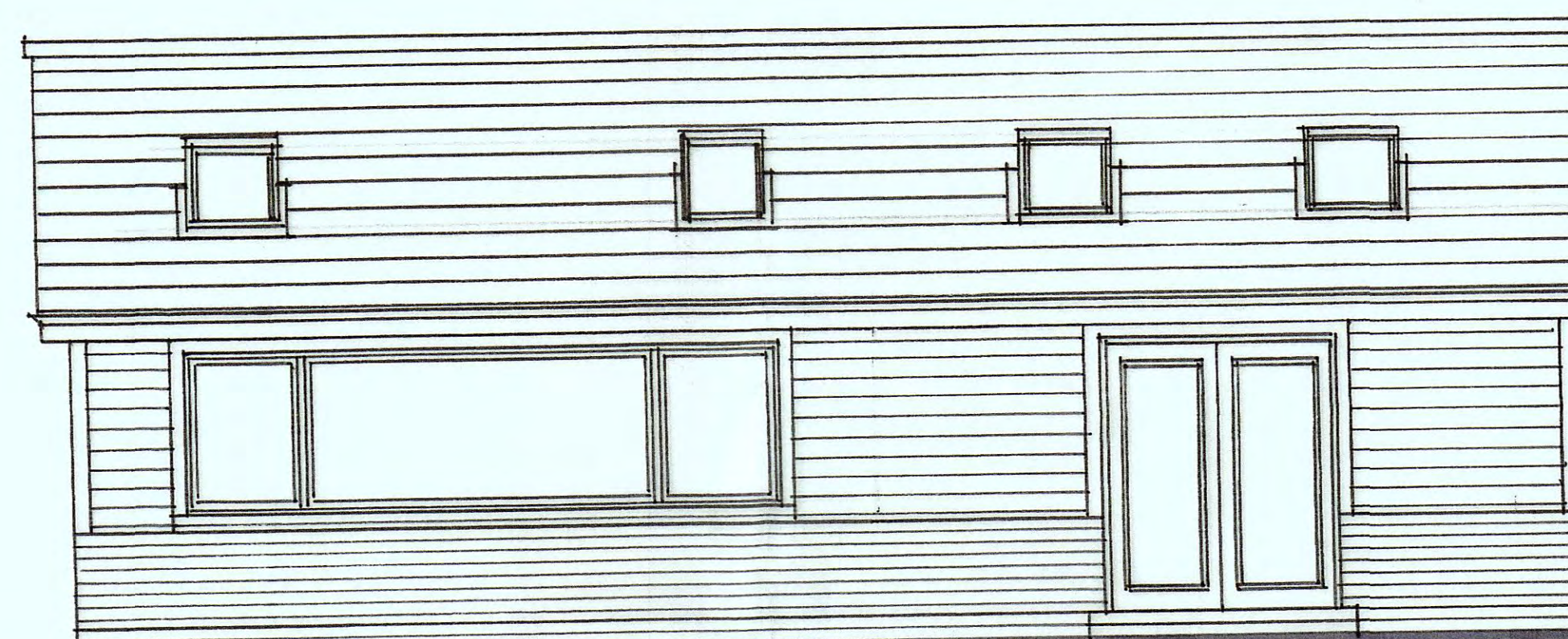


SECTIONAL EAST ELEVATION

2019/01194/FUL



NORTH ELEVATION



WEST ELEVATION



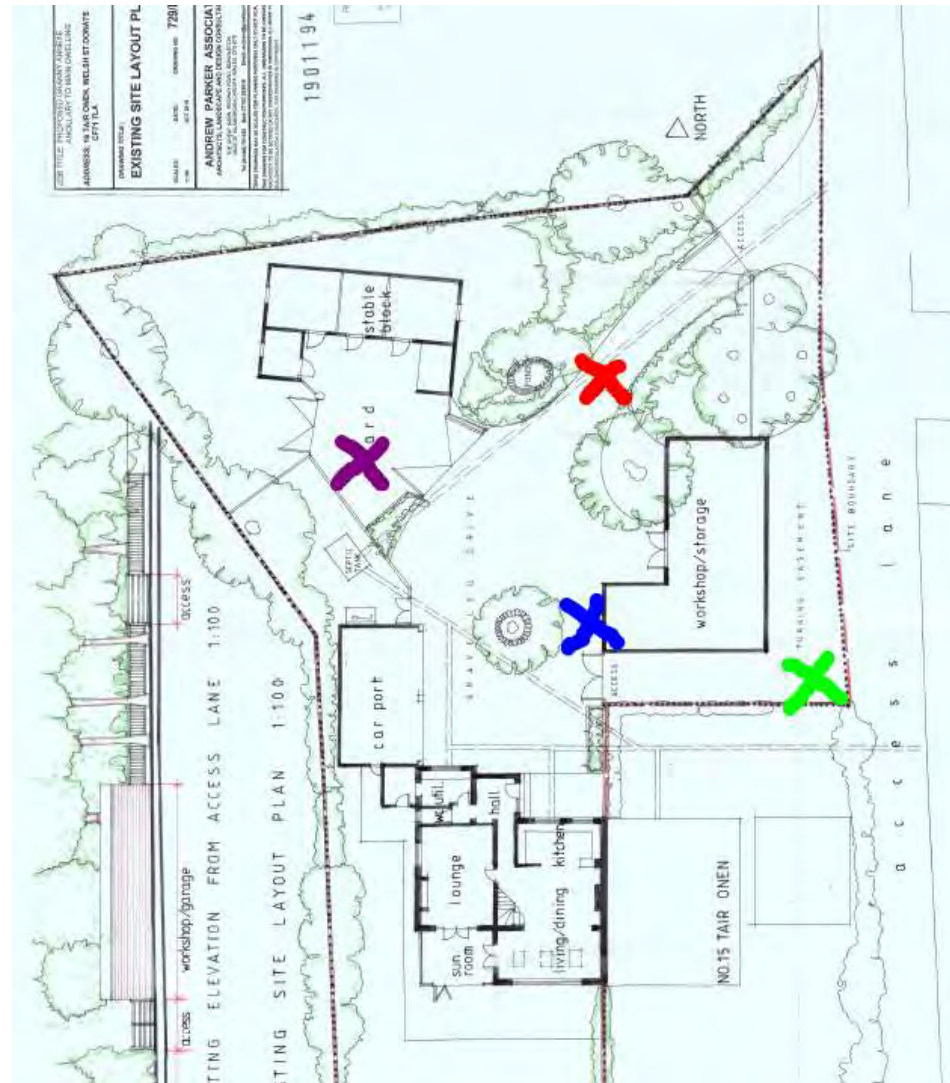
SOUTH ELEVATION



IN CONJUNCTION WITH



JOB TITLE: REPOSITIONING OF GRANNY ANNEXE NOW ATTACHED TO MAIN DWELLING		
ADDRESS: 16 TAIR ONEN, WELSH ST. DONATS, VALE OF GLAMORGAN		
DRAWING TITLE ; PROPOSED ELEVATIONS		
SCALES: 1:50	DATE: aug 2020	DRAWING NO 729/P/71
ANDREW PARKER ASSOCIATES ARCHITECTS, LANDSCAPE AND DESIGN CONSULTANTS THE GREAT BARN, REDWAY ROAD, BONNVLSTON, VALE OF GLAMORGAN, CARDIFF, WALES CF5 5TR Tel (01446) 781185 Mob 07702 262516 Email: andrew@greatbarn.com		
<small>THESE DRAWINGS MAY BE SCALED FOR PLANNING PURPOSES ONLY DO NOT SCALE FROM THIS DRAWING FOR CONSTRUCTION PURPOSES. ALL DIMENSIONS TO BE CHECKED ON SITE ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS ALL WORK TO CURRENT BUILDING REGULATION STANDARDS. THIS DRAWING IS COPYRIGHT</small>		



Approximate locations of photographs

2019/01194: 16, Tair Onen, Welsh St Donats



Red 'X': View of house and carport from driveway

2019/01194: 16, Tair Onen, Welsh St Donats



Blue 'X': View of carport from turning area

2019/01194: 16, Tair Onen, Welsh St Donats



Green 'X': View across application site from shared private driveway

2019/01194: 16, Tair Onen, Welsh St Donats

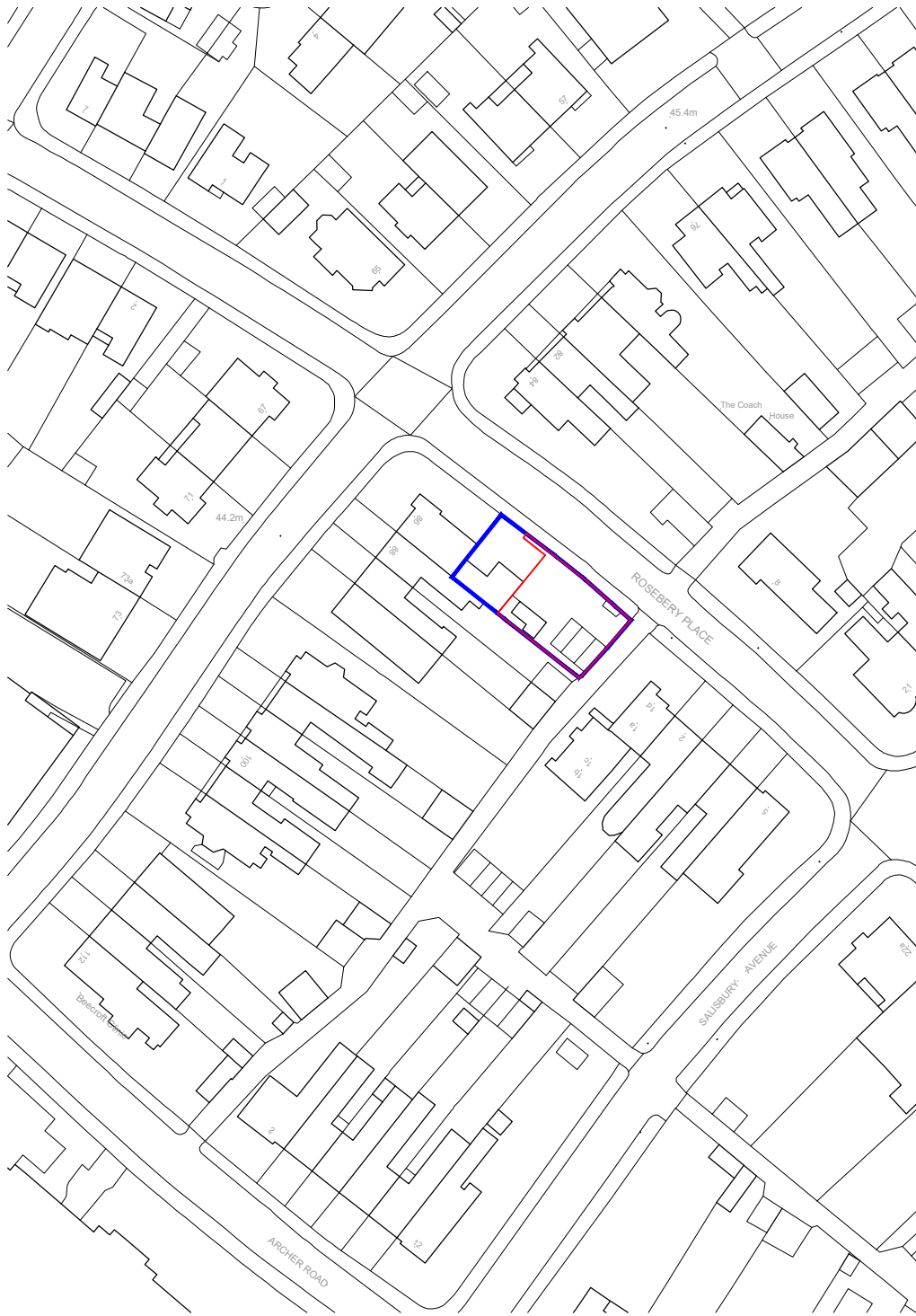


Purple 'X': View of house and carport from yard

2019/01194: 16, Tair Onen, Welsh St Donats



Aerial view of the site and surroundings



2020/00711/FUL

1807/L01A

ROSEBERY PLACE
PENARTH

LOCATION PLAN

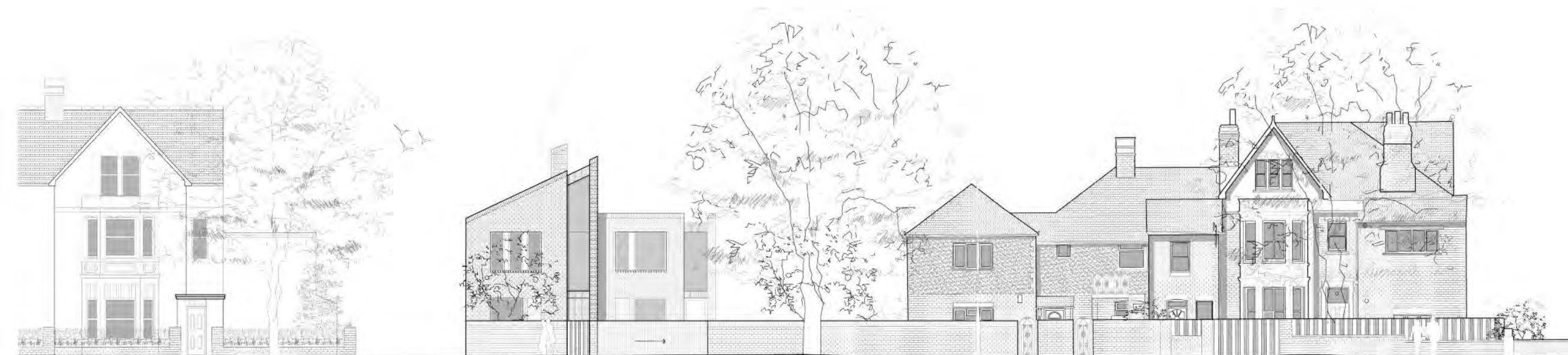
1:1250@A4 JUNE 20

LOYN + CO
ARCHITECTS

02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
Copyright Loyn+Co Architects | Do not scale



2020/00711/FUL



1807/S200

ROSEBERY PLACE
PENARTH

PROPOSED:
LONG STREET ELEVATION
1:200@A3 JUNE 20

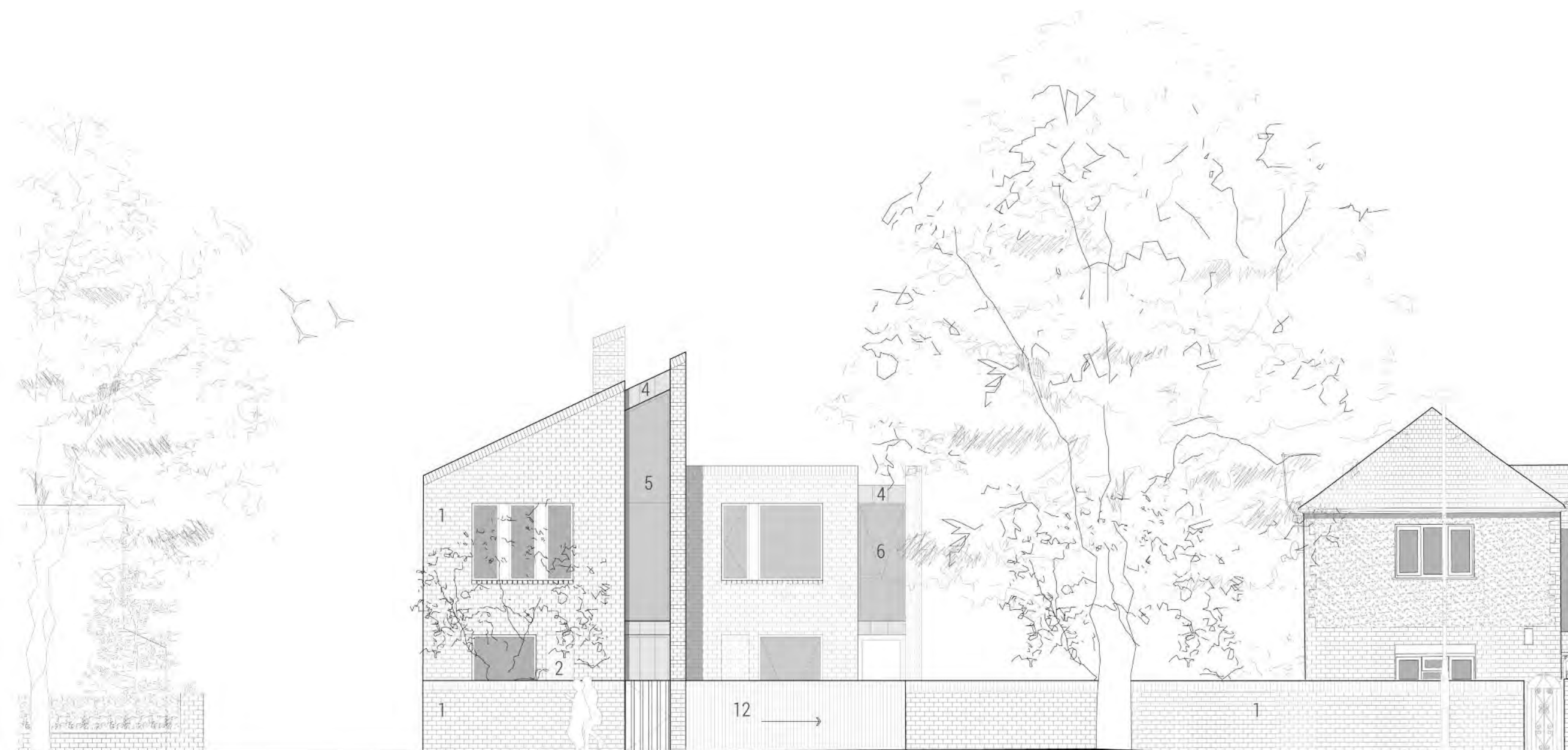
LOYN + CO
ARCHITECTS





MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins



2020/00711/FUL

1807/S201

ROSEBERY PLACE
PENARTH

PROPOSED:
STREET ELEVATION
1:100@A3 JUNE 20

LOYN + CO
ARCHITECTS

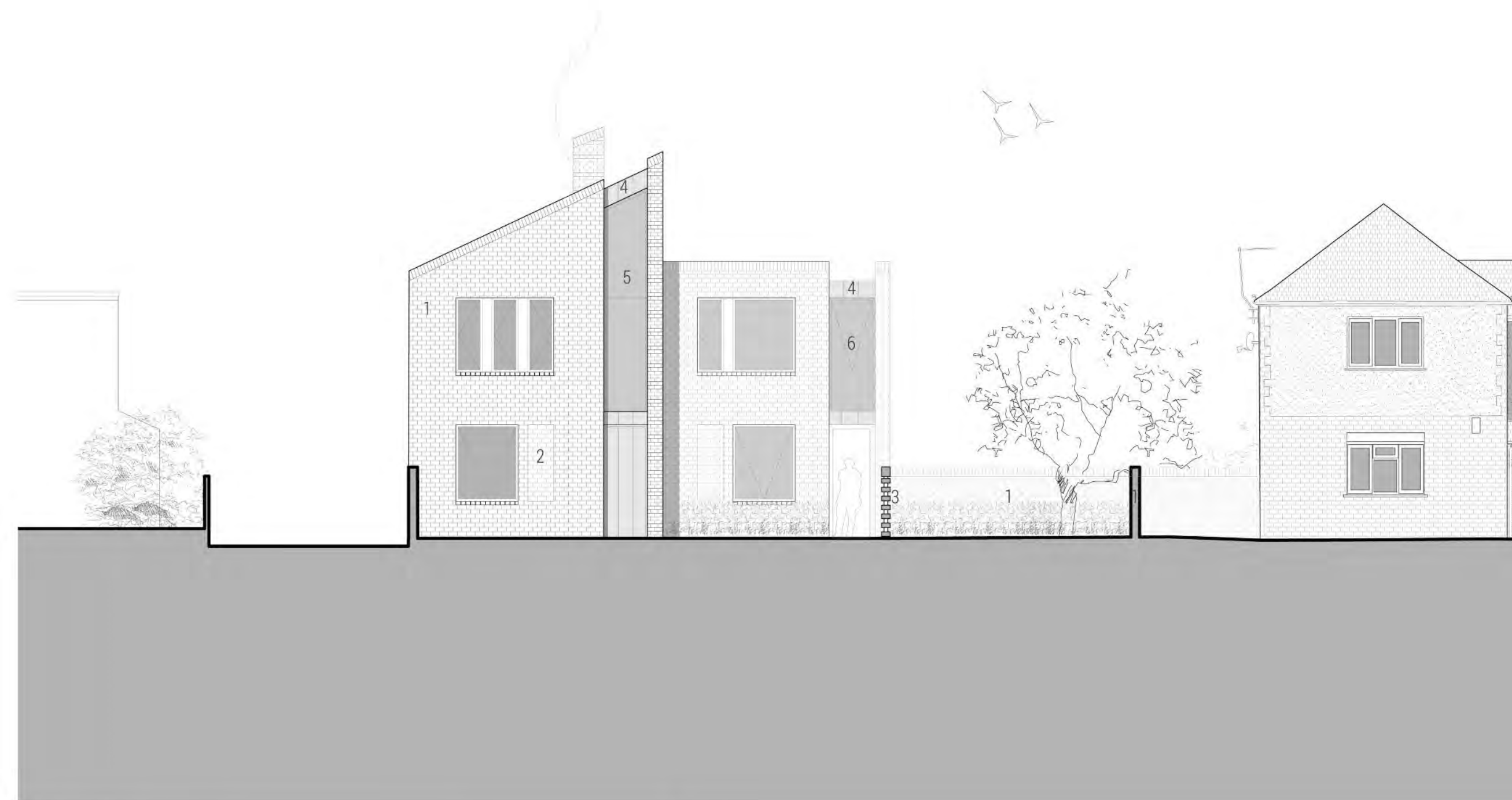
02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
© LOYN + CO | Do not scale except for Planning





MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins



2020/00711/FUL

1807/S202

ROSEBERY PLACE
PENARTH

PROPOSED:
FRONT ELEVATION
1:200 @ A3 JUNE 20

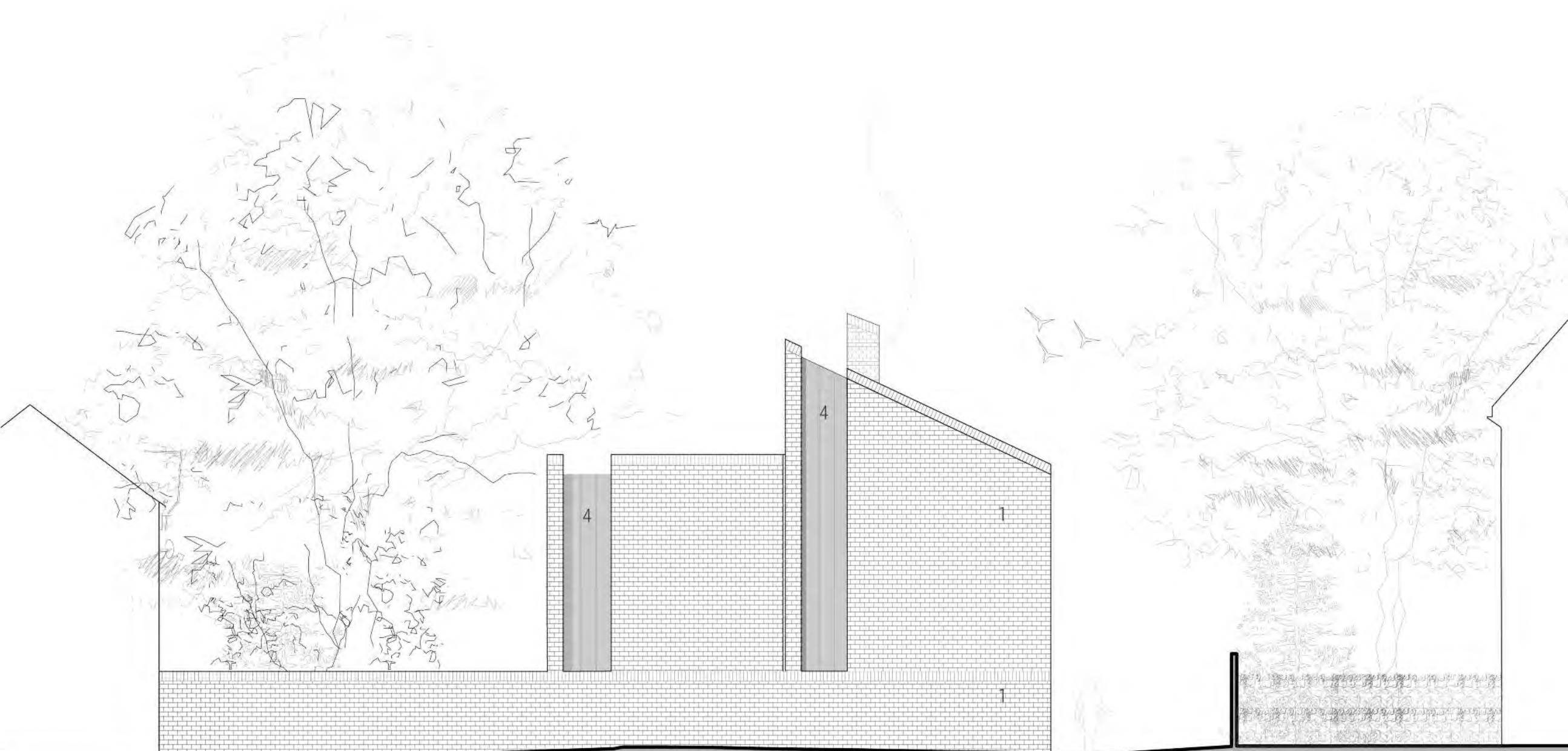
LOYN + CO
ARCHITECTS





MATERIAL LEGEND:

- 1. Imperial red clay brick with black mortar flush pointing
- 2. Imperial red clay brick with black mortar recessed pointing
- 3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
- 4. Dark grey standing seam zinc cladding
- 5. Frameless Glass
- 6. Dark grey PPC aluminium windows / doors
- 7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
- 8. Dark grey PPC aluminium pressing
- 9. Sedum roof covering single ply membrane colour dark grey
- 10. PV Panel
- 11. Solar Thermal Panel
- 12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins



2020/00711/FUL

1807/S203

ROSEBERY PLACE
PENARTH

PROPOSED:
REAR ELEVATION
1:100 @ A3 JUNE 20

LOYN + CO
ARCHITECTS

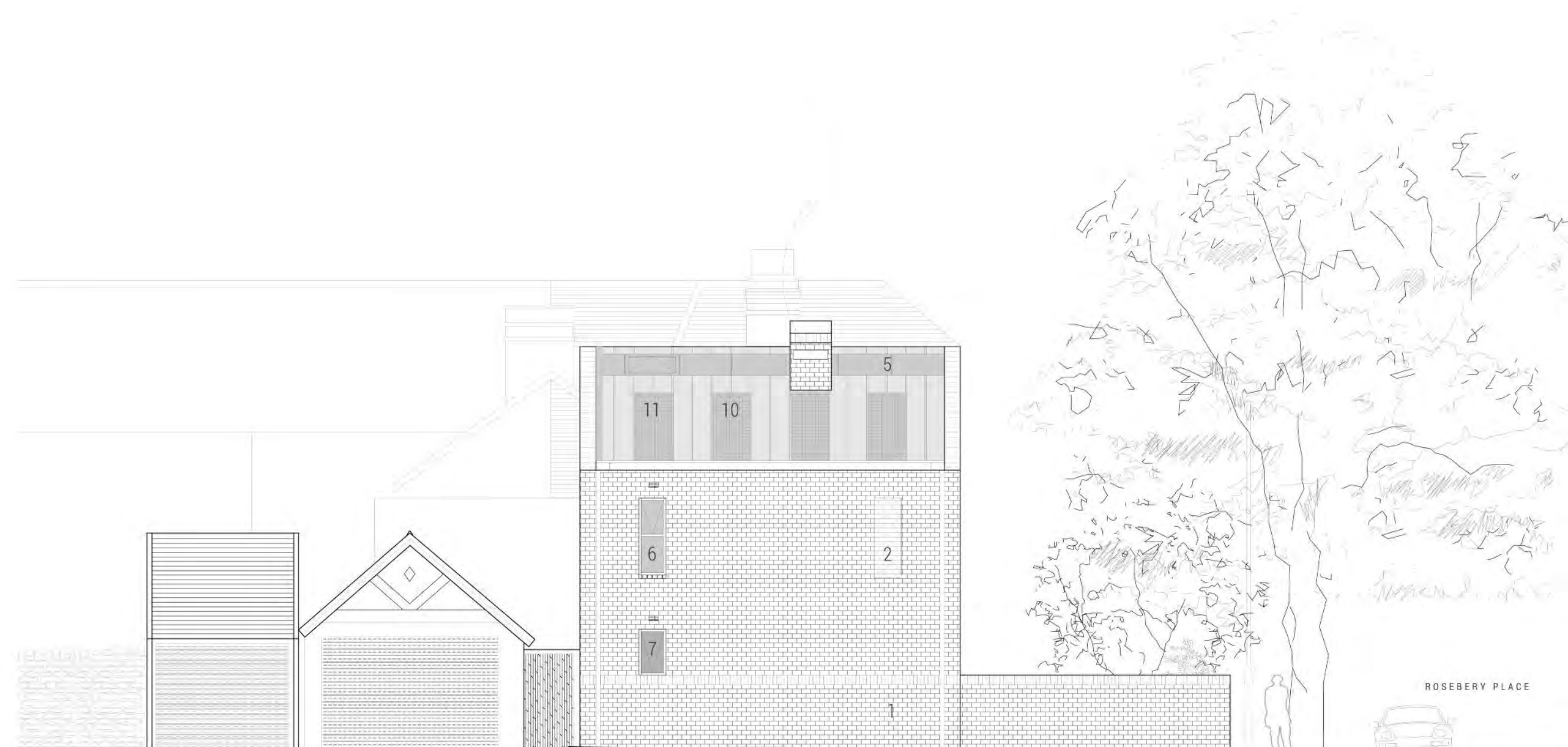
02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
© LOYN + CO | Do not scale except for Planning





MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins.



2020/00711/FUL

1807/S204

ROSEBERY PLACE
PENARTH

PROPOSED:
SIDE / LANE ELEVATION
1:100@A3 JUNE 20

LOYN + CO
ARCHITECTS

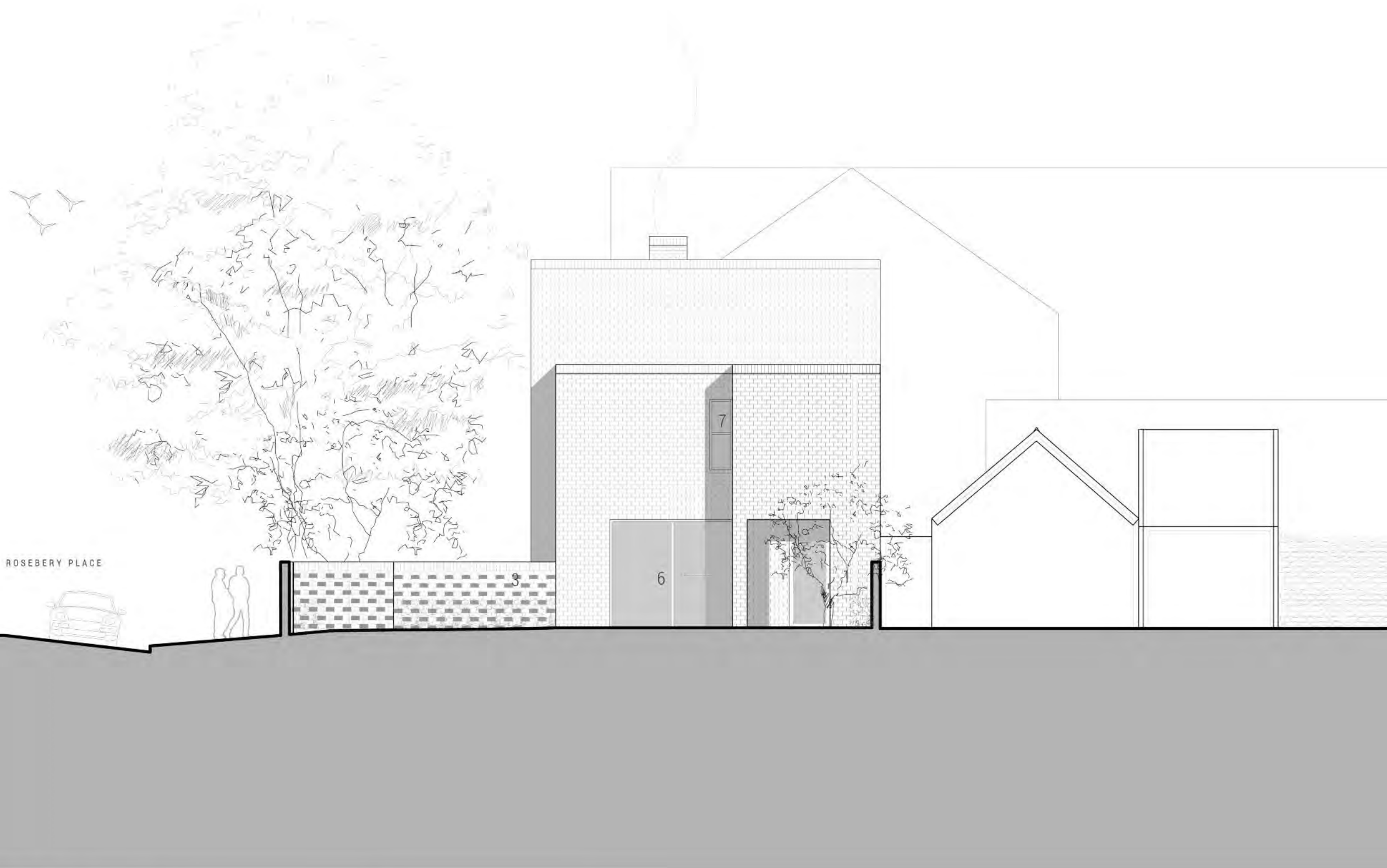
02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
© LOYN + CO | Do not scale except for Planning





MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins



2020/00711/FUL

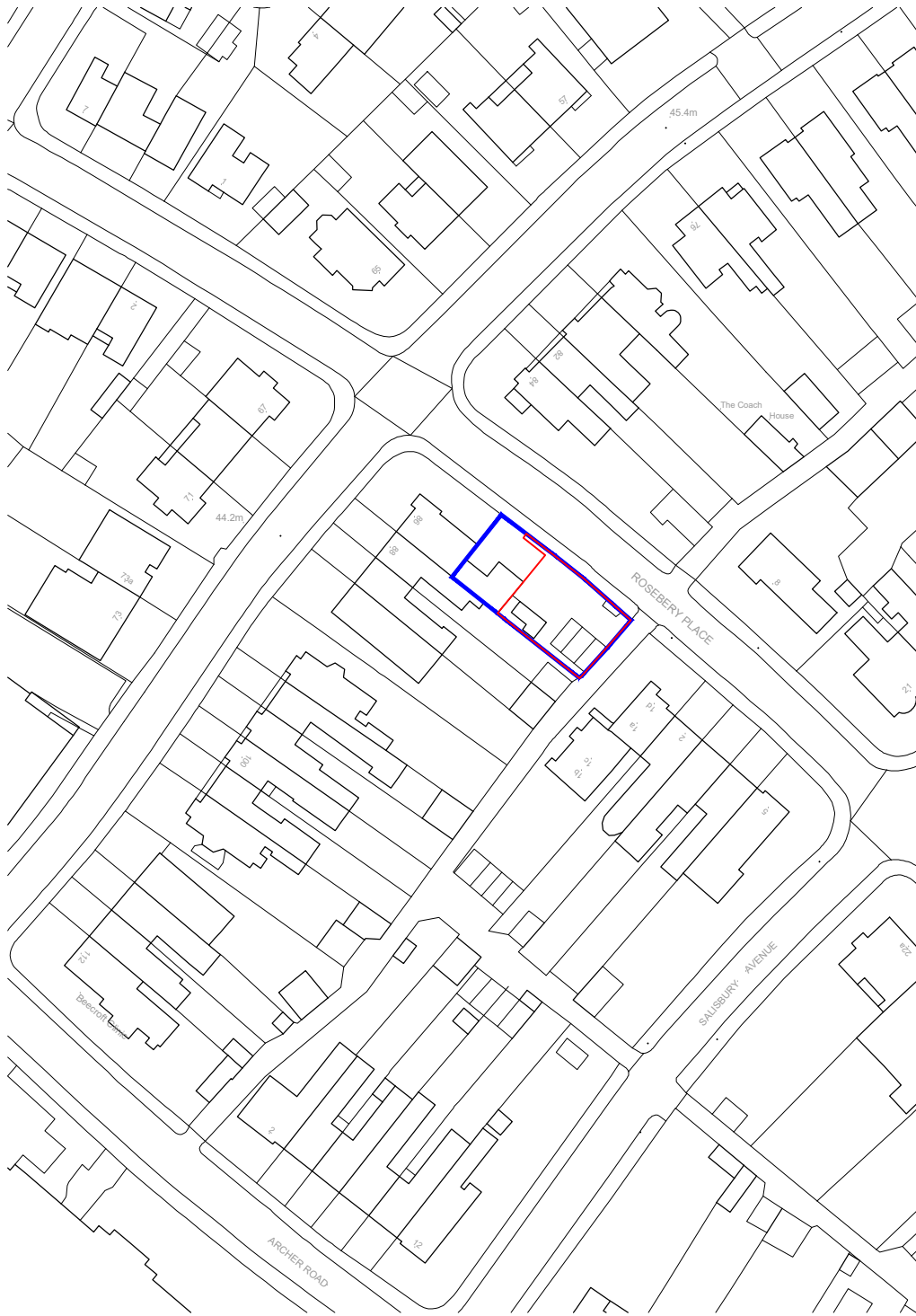
1807/S205

ROSEBERY PLACE
PENARTH

PROPOSED: SIDE /
GARDEN ELEVATION
1:100 @ A3 JUNE 20

LOYN + CO
ARCHITECTS





2020/00712/CAC

1807/L01A

ROSEBERY PLACE
PENARTH

LOCATION PLAN

1:1250@A4 JUNE 20

LOYN + CO
ARCHITECTS

02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
Copyright Loyn+Co Architects | Do not scale



2020/00712/CAC



1807/S200

ROSEBERY PLACE
PENARTH

PROPOSED:
LONG STREET ELEVATION
1:200@A3 JUNE 20

LOYN + CO
ARCHITECTS





MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins



2020/00712/CAC

1807/S201

ROSEBERY PLACE
PENARTH

PROPOSED:
STREET ELEVATION
1:100@A3 JUNE 20

LOYN + CO
ARCHITECTS

02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
© LOYN + CO | Do not scale except for Planning





MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins

2020/00712/CAC

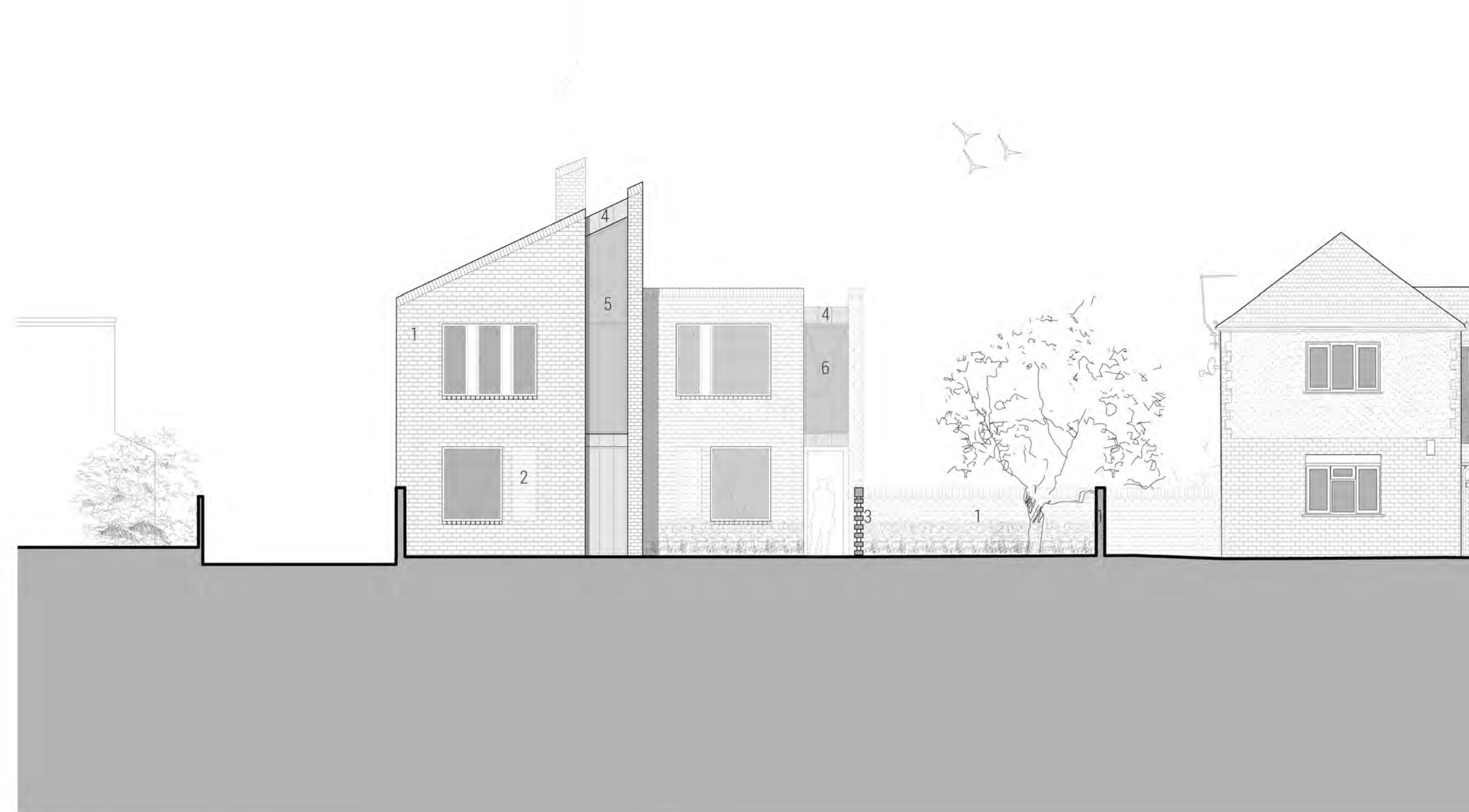
1807/S202

ROSEBERY PLACE
PENARTH

PROPOSED:
FRONT ELEVATION
1:200@A3 JUNE 20

LOYN + CO
ARCHITECTS

02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
© LOYN + CO | Do not scale except for Planning

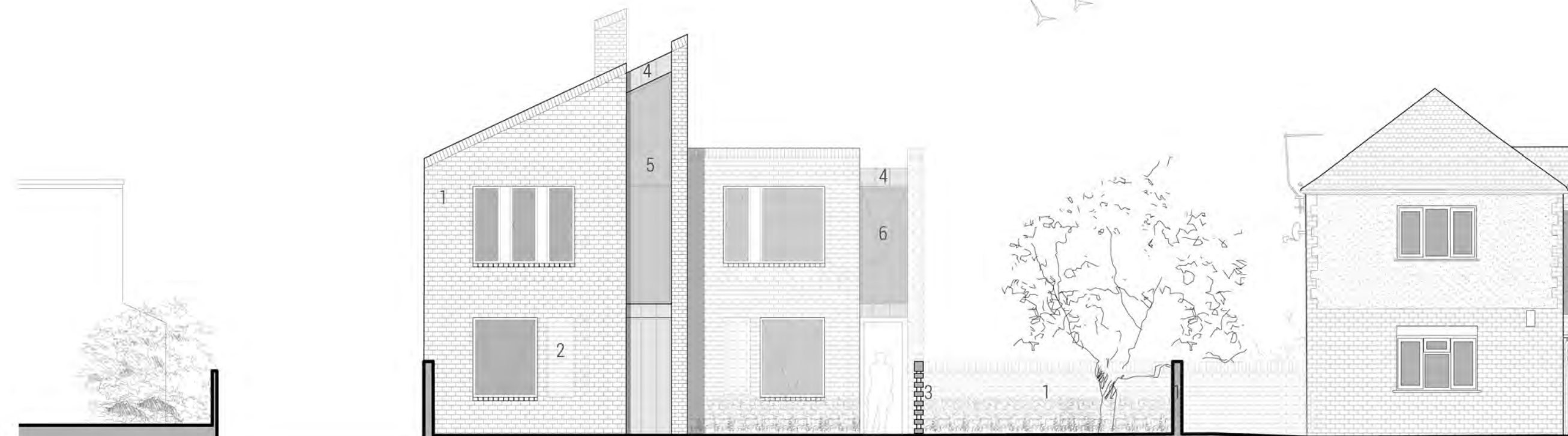


SCALE 1:100 [m]



MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins



2020/00712/CAC

1807/S202

ROSEBERY PLACE
PENARTH

PROPOSED:
FRONT ELEVATION
1:200@A3 JUNE 20

LOYN + CO
ARCHITECTS

02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
© LOYN + CO | Do not scale except for Planning





MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins.



2020/00712/CAC

1807/S204

ROSEBERY PLACE
PENARTH

PROPOSED:
SIDE / LANE ELEVATION
1:100@A3 JUNE 20

LOYN + CO
ARCHITECTS

02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
© LOYN + CO | Do not scale except for Planning





MATERIAL LEGEND:

1. Imperial red clay brick with black mortar flush pointing
2. Imperial red clay brick with black mortar recessed pointing
3. Perforated brick wall using Imperial red clay brick with black mortar flush pointing
4. Dark grey standing seam zinc cladding
5. Frameless Glass
6. Dark grey PPC aluminium windows / doors
7. Dark grey PPC aluminium windows / doors with obscured glazing (At First Floor opening from 1.8 from FFL)
8. Dark grey PPC aluminium pressing
9. Sedum roof covering single ply membrane colour dark grey
10. PV Panel
11. Solar Thermal Panel
12. Dark grey PPC Steel framed sliding / hinged gate with vertical timber fins

2020/00712/CAC

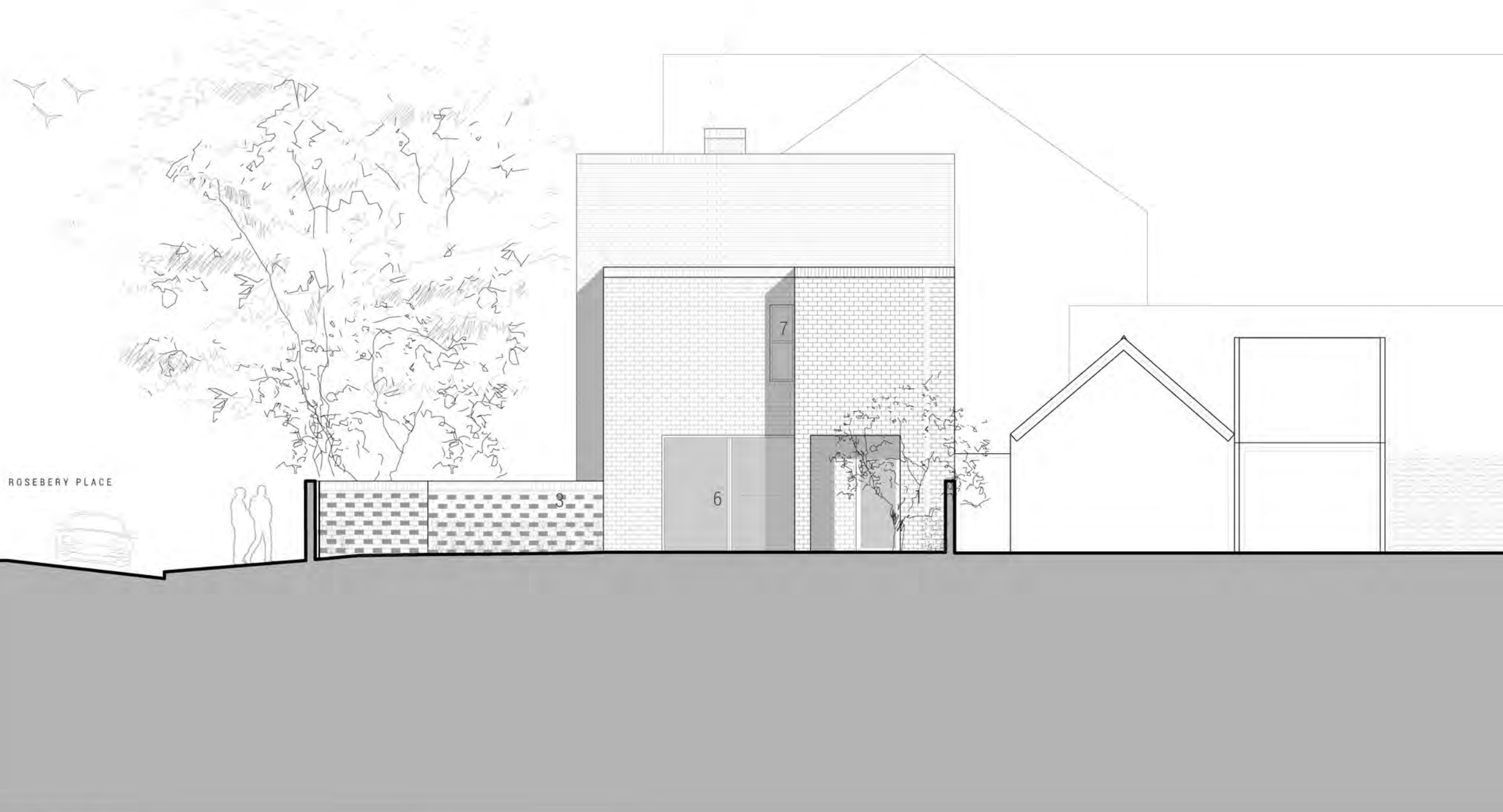
1807/S205

ROSEBERY PLACE
PENARTH

PROPOSED: SIDE /
GARDEN ELEVATION
1:100@A3 JUNE 20

LOYN + CO
ARCHITECTS

02920 711432 | architecture@loyn.co.uk
88 Glebe Street Penarth CF64 1EF | loyn.co.uk
© LOYN + CO | Do not scale except for Planning



ROSEBERY PLACE

SCALE 1:100 [m]



86, Stanwell Road



Opposite the site



Typical architectural form in the area. Red brick, with ashlar dressings are the predominant materials.



The site as existing with modern, concrete garages, a smaller outbuilding and amenity space serving 86, Stanwell Road.



View into the site from Roseberry Place showing the wall fronting rear service lane and rear of properties along Stanwell Road.



View across the site from Roseberry Place looking south-east towards 1, Roseberry Place



View out of lane (application site on the left).



Outlook from No. 88, Stanwell Road (first floor)



Outlook from No. 88, Stanwell Road (garden)



Outlook from 90, Stanwell Road (ground floor)



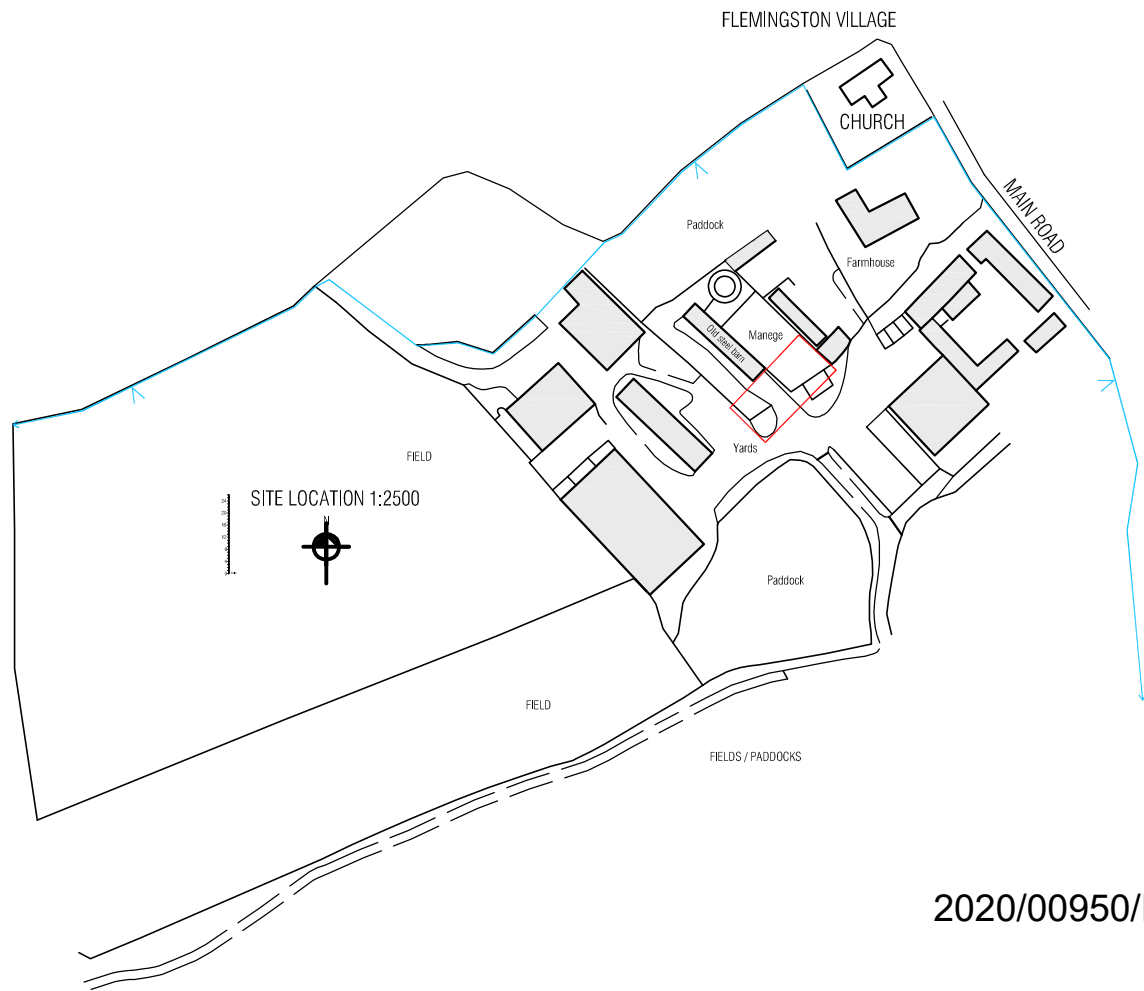
Outlook from 90, Stanwell Road (first floor)



Partial view from 1D, Roseberry Place



View from 1B, Roseberry Place



2020/00950/FUL



LOCATION MAP 1:25,000



REF DATE REVISION

OnlineCAD Ltd.
ARCHITECTURAL SERVICES

No.2 The Courtyard
Lion Street
ABERGAUENNY
MONMOUTHSHIRE
NP75PE
01873 840617 info@onlinecad.co.uk

CLIENT:
J.E.Thomas and Son.

PROJECT:
Flemingston Court
Flemingston, Barry
CF62 4QJ

SHEET TITLE:
Location and Site

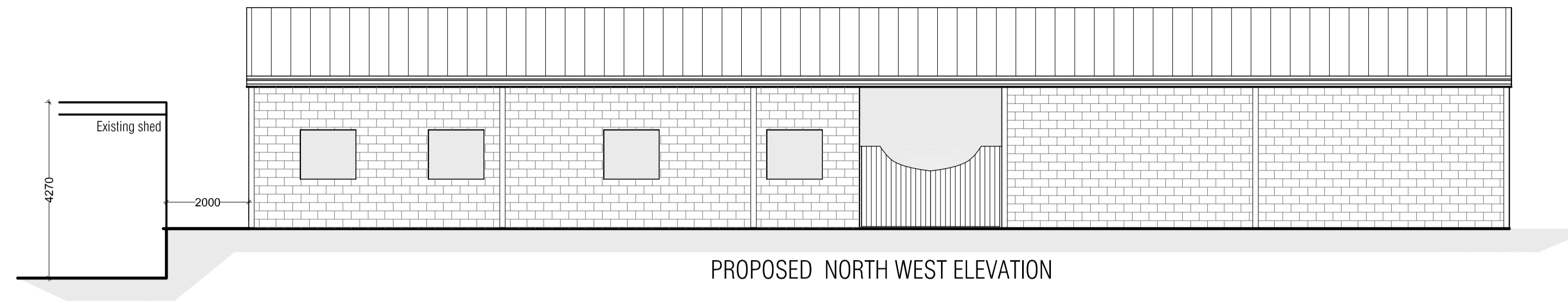
New Horse Accommodation Block

SCALE: 1:2500 on A4	DATE: Aug 20	DRAWN: RAP
------------------------	-----------------	---------------

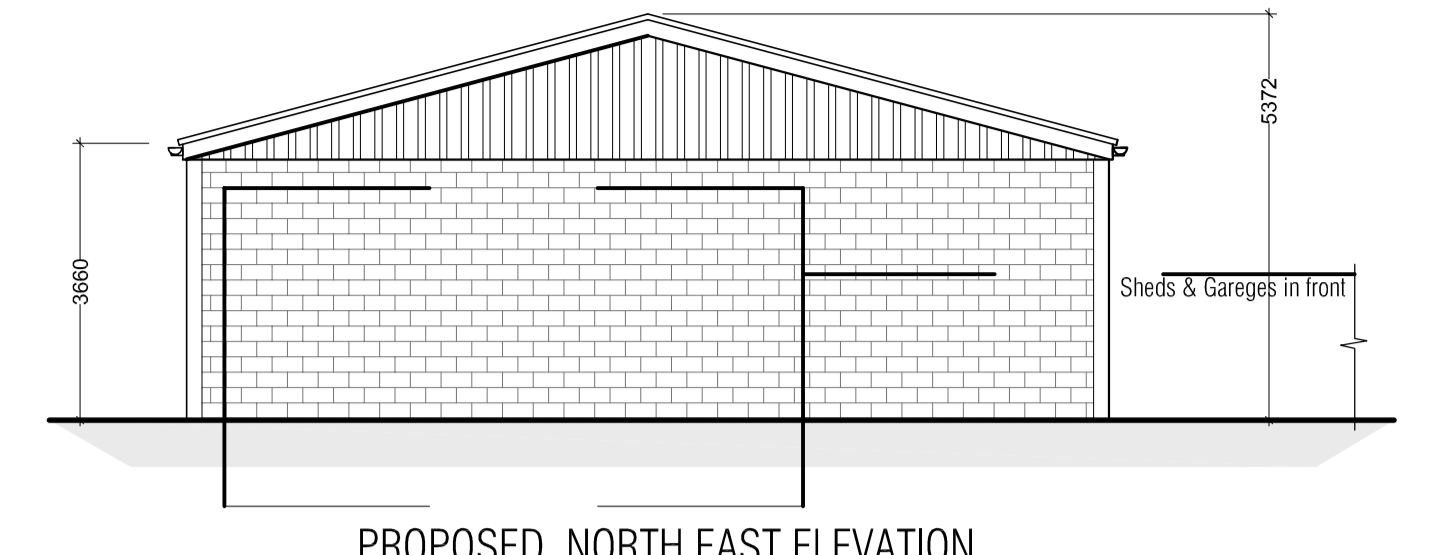
DRAWING No	REV
20-020	05

NOTES:
 New stock building to be Class 2, portal frame buildings (5 bays) - 12.2m wide x 30.5m long x 3.66m max to eaves. 5.4m max to ridge.

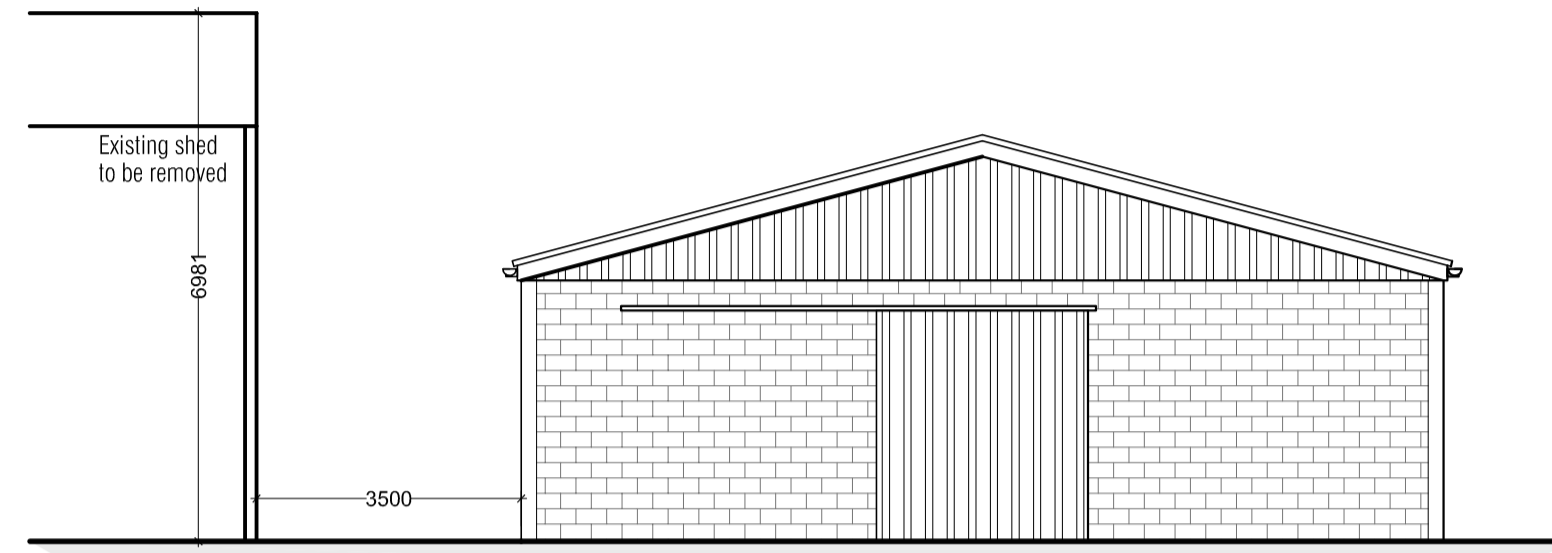
Roof pitch 15'
 Roofing, natural grey fibre cement profile 6.
 Side walls - Green coloured profile sheet above eaves line.
 Masonry block walls below eaves.
 GRP translucent roof light sheets in roof.
 Upvc fast flow gutters & downpipes.
 Sliding doors in green cladding. Timber doors elsewhere..



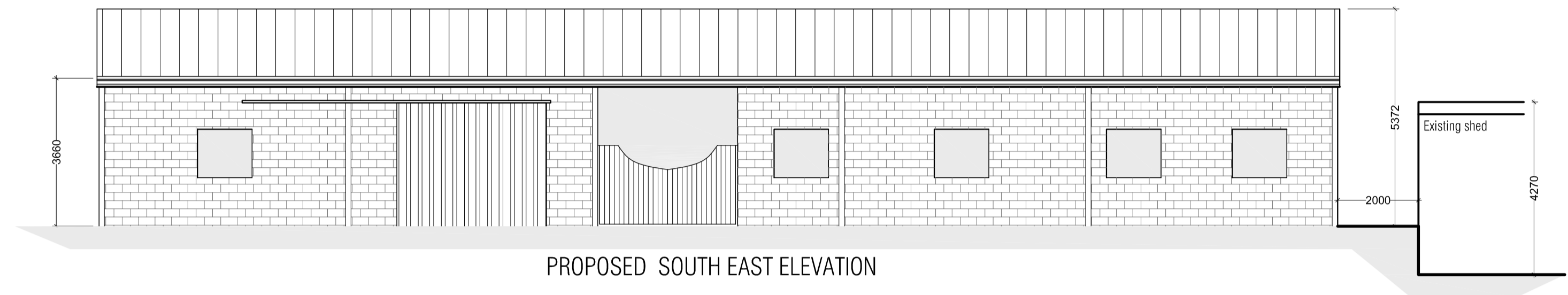
PROPOSED NORTH WEST ELEVATION



PROPOSED NORTH EAST ELEVATION

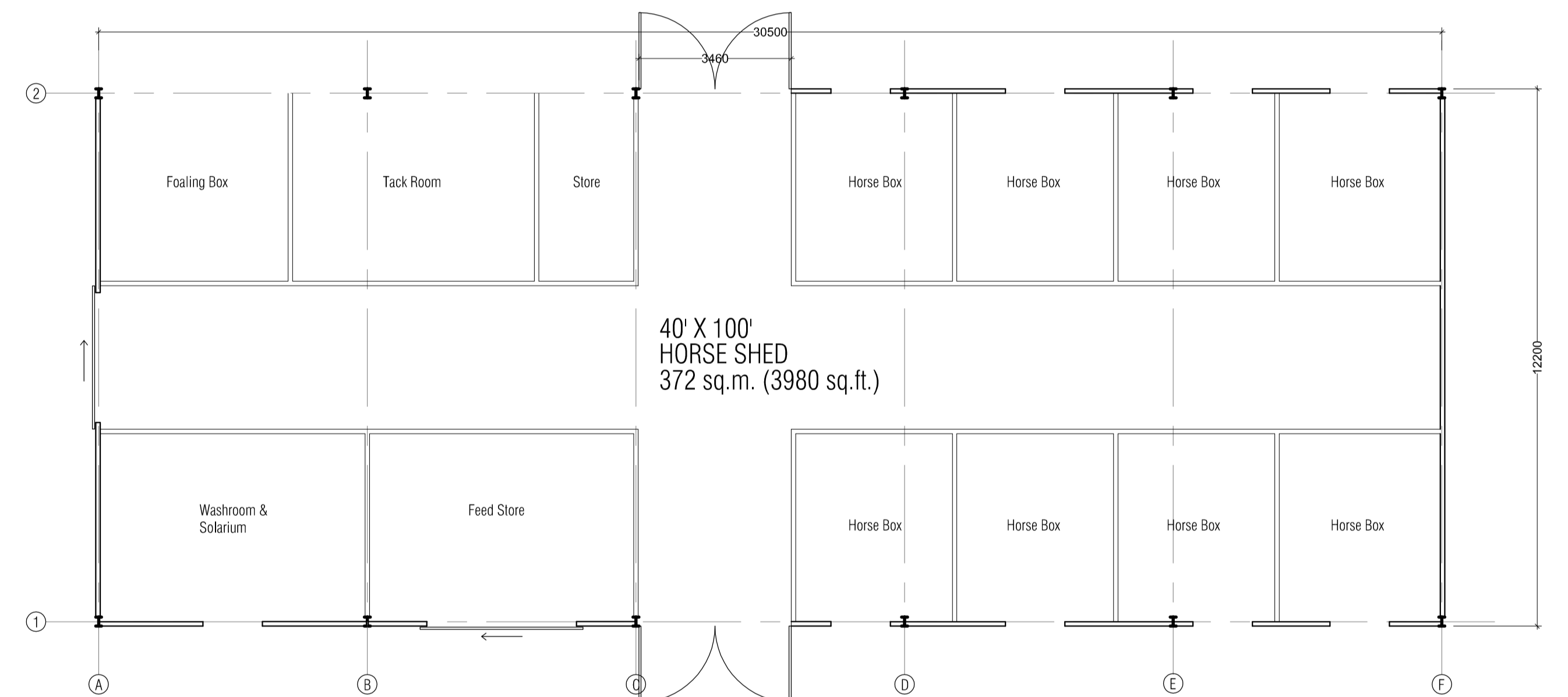
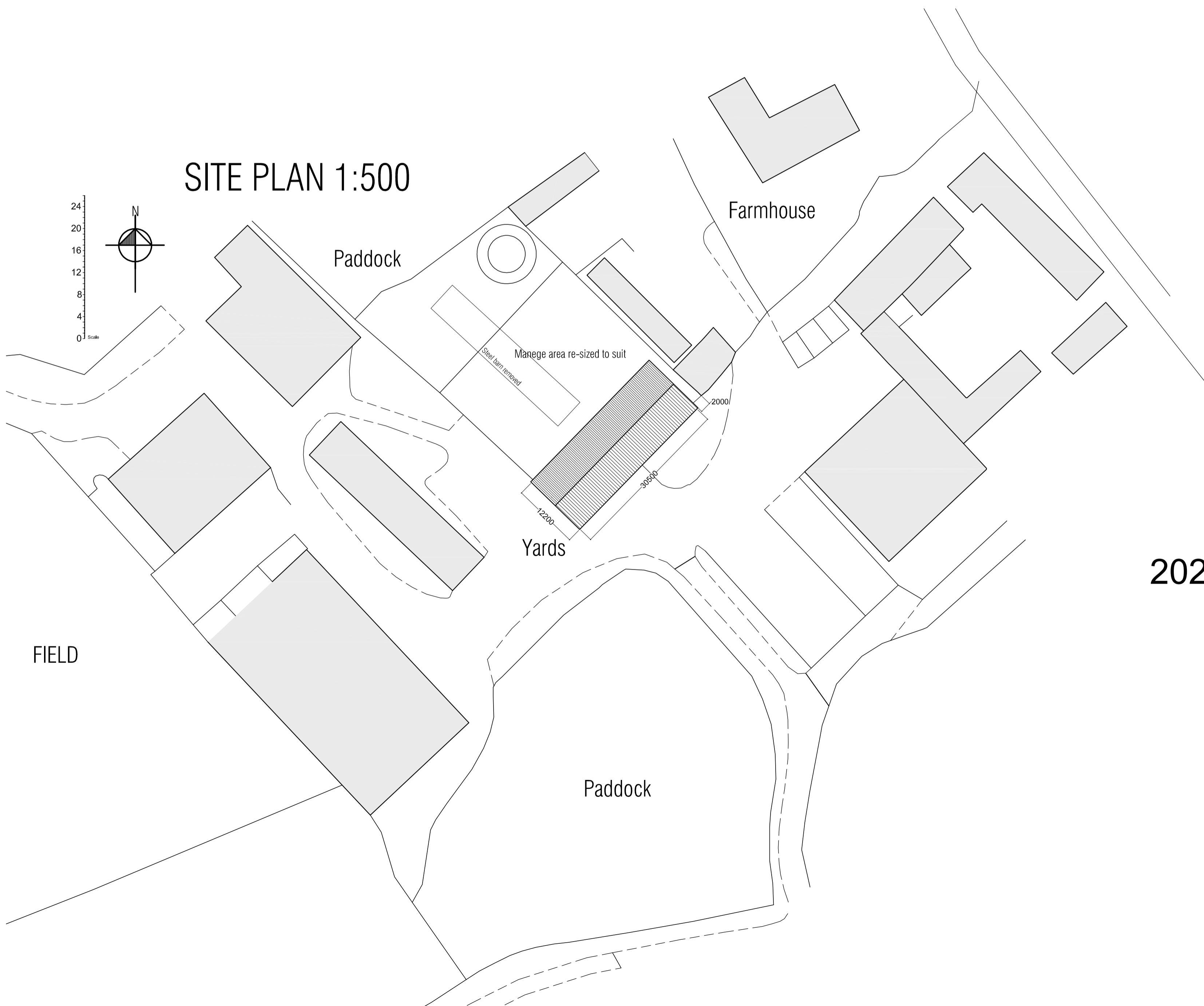


PROPOSED SOUTH WEST ELEVATION



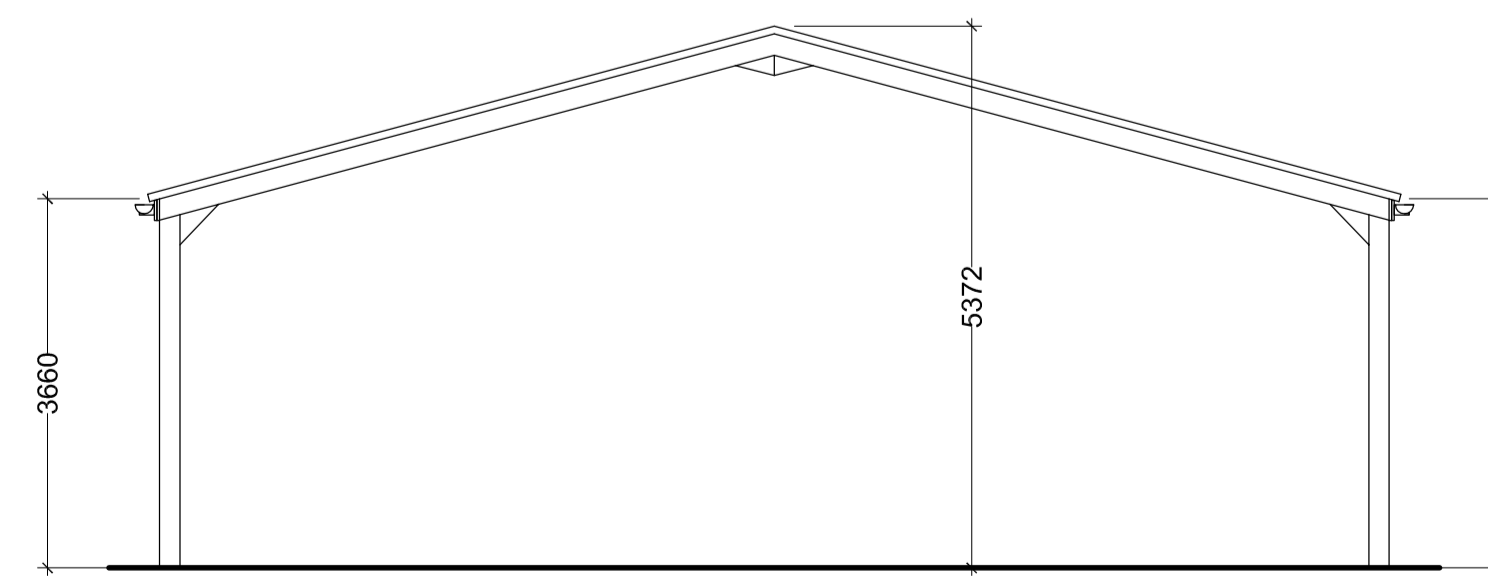
PROPOSED SOUTH EAST ELEVATION

SITE PLAN 1:500



PROPOSED PLAN

2020/00950/FUL



PROPOSED GENERAL SECTION 1:75

REF DATE REVISION

No.2 The Courtyard
 Lion Street
 ABERGAVENNY
 MONMOUTHSHIRE
 NP75PE
 01873 840617 info@onlinecad.co.uk

CLIENT:
 J.E.Thomas and Son.

PROJECT:
 Flemingston Court
 Flemingston, Barry
 CF62 4QJ

SHEET TITLE:
 Proposed Site, Plan & Elevations

New Horse Accommodation Block

SCALE: 1:100 on A1 DATE: Aug 20 DRAWN: RAP

DRAWING No. 20-020 REV 07

Application 20/00950/FUL – Flemingston Court

Photo 1 - View from Flemingston Road (from east) towards the main farmhouse



Photo 2 - View from Flemingston Road (from east) into farm yard



Photo 3 - Horses currently stabled in this agricultural shed



Photo 4 - Location of new stables within farmyard



Photo 5 - View into the site from north



Photo 6 - View into the site from north





Aerial view of site from Googlemaps.

SITE LOCATION PLAN

BLOCK PLAN

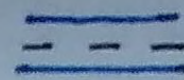
Pen Y Bryn Plan

PEN Y BRYN PROPERTY BOUNDARY

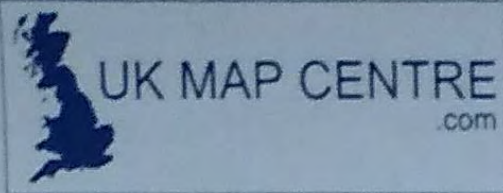
JOINT USE DRIVEWAY
(PEN Y BRYN OWNED)

SITE OF PROPOSAL

DISTANCE FROM PROPOSAL
TO BUILDINGS ON ADJACENT LAND



(132.5m.)



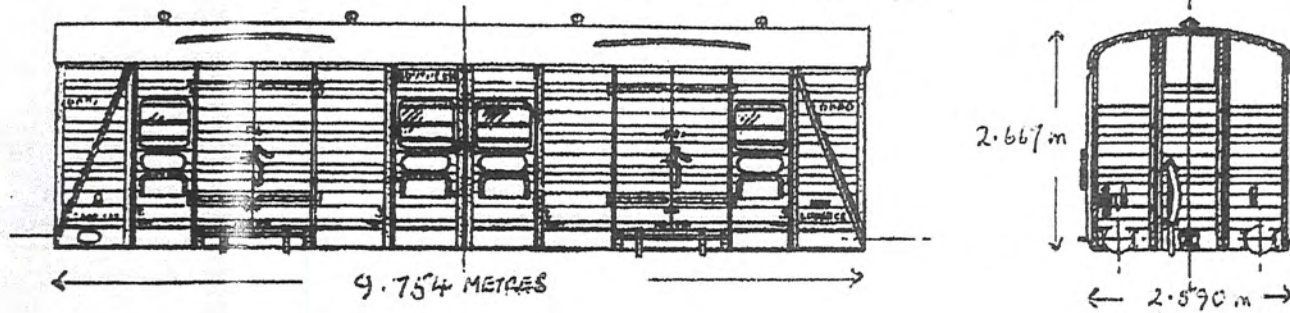
© Crown copyright and database rights 2020 Ordnance survey 100048957. The representation of road, track or path is no evidence of a boundary or right of way. The representation of features as lines is no evidence of a property boundary

20m
Scale 1:500



Supplied by: www.ukmapcentre.com
Serial No: 196130
Centre Coordinates: 298776, 171098
Production Date: 15/10/2020 13:34:10

NOS. 1053, 1359-1398, 1451-1671, 1692-1730, 1821-1920, 2083-2090. No. 1967



PEN Y BRYN EX BR LUGGAGE VAN BODY

RE: APPLICATION REF. 2020/01148/FUL

MEASUREMENTS

LENGTH	9.754 METRES
WIDTH	2.590 "
HEIGHT	2.667 "

Application 2020/01148/FUL – Pen-Y-Bryn.



VIEW OF RAILWAY LUGGAGE VAN BODY FROM ADOPTED HIGHWAY



VIEW OF RAILWAY LUGGAGE VAN BODY FROM ADOPTED HIGHWAY



VIEW OF RAILWAY LUGGAGE VAN BODY AND STATION BUILDING FROM ADOPTED HIGHWAY



VIEW OF STATION BUILDING FROM WITHIN THE SITE



Aerial image of site and surroundings from Googlemaps.